

**City of Keego Harbor**  
**Planning Commission Meeting Minutes**  
**Tuesday, January 27, 2026**

**CALL THE MEETING TO ORDER**

Chairperson Yoder called the meeting to order at 7:00 p.m.

**ROLL CALL**

**Present:** Chairman Yoder, Commissioner Douglass, Secretary Santia, Commissioner Meabrod, and Council Member Elsen.

*Motion by Commissioner Douglass; supported by Council Member Elsen to excuse Vice Chairperson Streng and Commissioner Emerling from the January 27, 2026, meeting.*

*Unanimous Vote: Ayes: 5*

*Nays: 0*

*Motion Carries*

**STAFF PRESENT:** City Manager Tammy Neeb, City Planner Emily Huhman, City Planner Paul Urbiel

**APPROVAL OF AGENDA**

*Motion by Commissioner Douglass; supported by Commissioner Meabrod to approve the agenda for January 27, 2026.*

*Unanimous Vote: Ayes: 5*

*Nays: 0*

*Motion Carries*

**APPROVAL OF MINUTES**

*Motion by Council Member Elsen; supported by Secretary Santia to approve the Planning Commission meeting minutes from Tuesday, December 2, 2025.*

*Vote: Ayes: 5*

*Nays: 0*

*Motion Carries*

**PUBLIC COMMENTS**

# Planning & Zoning Report

December 2025

## DEVELOPMENT PROJECTS WITH PLANNING COMMISSION INVOLVEMENT

Address	Zoning	Project / Approval Sought	Status	Comment / Latest Action
2091 Cass Lake Rd.	C-1 Local Business, CLR Overlay	Site plan approval for a wine retailer and office	Preliminary Site Plan Review #1	City Planner reviewed and approved updated plans determined to meet the Planning Commission's conditions of approval. Applicant is undergoing inspections with the Building Official and Fire Department.
2004 Cass Lake Rd.	C-1 Local Business, CLR Overlay	Site plan approval	Site Plan Review #2	Project tabled at the September 30, 2025 Planning Commission meeting. Applicant is expecting to submit updated plans in January 2026.

## ONGOING PLANNING & ZONING PROJECTS - DECEMBER

### Master Plan Update

The draft Master Plan was sent to Planning Commissioners for review and is also included in this month's Planning Commission packet. We request that the Planning Commission recommend to City Council that the draft be released for the required 63-day public comment period at the January 27<sup>th</sup> Planning Commission meeting.

### 2025 Annual Planning Report and 2026 City Planning and Development Work Plan for City Council

The Planning Commission was sent a survey on January 8<sup>th</sup> to provide thoughts on what the Planning Commission should be working on for the upcoming year. A memorandum summarizing those results is included in your packets. A draft of the 2025 Annual Planning Report and 2026 City Planning and Development Work Plan is also provided.

## PLANNING AND ZONING INQUIRIES

Date	Address	Zoning	Inquiry	Planner's Review
December 2	3106 Varjo Ct	NR, Neighborhood Residential	Zoning Permit Application – Home Addition	Applicant submitted updated building elevations. Planner reviewed and requested corrections to properly measure building height and daylight plane.
December 8	2481 Willow Beach	NR, Neighborhood Residential	Zoning Permit Application – Fence	Planner requested survey indicating location of the fence.

December 8	3170 Orchard Lake Rd	RMH, Mobile Home Park	Are tiny homes permitted in the mobile home park?	Dependent on the Master Deed for the Mobile Home Park.
December 10	2428 Willow Beach	NR, Neighborhood Residential	Inquirer requested building envelope information.	Planner provided requested information.
December 15	3325 Orchard Lake Rd	C-2, General Business	Annual A-Frame, Banner, or Flag/Yard Sign Permit Application	Planner explained to applicant the additional information needed.
December 15	1712 Cass Lake Front	NR, Neighborhood Residential	Inquirer requested building envelope information.	Planner provided requested information.
December 16	3080 Orchard Lake Rd	C-2, General Business, CBD Overlay	Realtor requested zoning verification letter.	Building Department Clerk followed up and confirmed no letter is needed at this time.
December 17	1570 Cass Lake Rd	NR, Neighborhood Residential, CLR Overlay	Zoning Permit Application – Fence  Applicant submitted requested survey.	Fence does not meet requirements of the Zoning Ordinance. Planner explained required changes and requested updated plan be submitted or that the fence be removed.
December 22	1754 Cass Lake Front	NR, Neighborhood Residential	Zoning Board of Appeals Application – Driveway	Awaiting the applicant to submit required fee before planner review and scheduling.
December 29	2050 Willow Beach	NR, Neighborhood Residential	Zoning Permit Application – Home Renovations/Façade Improvements	Applicant submitted updated plans. Appears to meet requirements of the Zoning Ordinance. Conditionally approved pending architectural review.

## 2026 Goals and City Development Work Plan Survey Results

Each year, the Planning Commission must provide an annual report of its activities to City Council and plan its goals and objectives for upcoming year. As part of preparing this report, a survey was sent to the Planning Commission to gauge this year's goals and objectives. The survey closed on January 19, 2026. Four planning commissioners responded to the survey.

The following memorandum overviews the responses from this survey as a supplement to the draft 2025 Annual Planning Report and 2026 Goals and City Planning and Development Work Plan provided in your packets.

We look forward to discussing these results at your January 27th meeting.

The survey provided the following draft goals for Planning Commission to consider and build upon:

- **Cass Lake Road Streetscape Improvements**

Develop design and placemaking concepts to transform the public realm on Cass Lake Road to support a walkable and vibrant commercial corridor.

- **Online Permitting System**

Evaluate and select an online permitting system, such as BS&A's Planning, Engineering, and Zoning Module, Cloud permit, or a similar service to streamline permitting processes.

- **Sign Ordinance Rewrite**

Complete the comprehensive review and rewrite of the Sign Ordinance.

- **Capital Improvements Plan**

Adopt a Capital Improvements Plan in accordance with Michigan Planning Enabling Act.

- **Development Process Clarification and Streamlining**

Clarify discretionary review processes, such as waiver processes, in the Zoning Ordinance.

Identify strategies to clarify and streamline development processes for residential and commercial property owners, including continuing to develop quick reference guides and potential pre-approved housing plans.

- **Roosevelt School Concept Plan**

Consider developing a concept plan showing the ideal development of the former Roosevelt School site to encourage responsible redevelopment of the site.

- **Utilizing City Property**

Release a Request for Proposals to redevelop the Corner Property in accordance with the adopted Master Plan.

- **Annual Review of Residential, Commercial, and Village Overlay District Architectural Review Standards**

Review standards to ensure the building materials list is up to date and identify any potential process improvements.

**Q1: DO YOU THINK THESE GOALS ARE RELEVANT FOR KEEGO HARBOR IN 2026? WHICH IS THE HIGHEST PRIORITY?**

The first question asked for responses to the current draft goals for the 2026 Goals and City Planning and Development Work Plan. The responses identified creating a concept plan for Roosevelt (75% of responses) and developing design and placemaking concepts for Cass Lake Road (50% of responses) and the top two priorities for 2026.

**Top Priorities**

<b>Roosevelt Concept Plan</b>	3
<b>Cass Lake Road Streetscape</b>	2
<b>Utilizing City-Owned Property</b>	1
<b>Completion of Master Plan Review</b>	1
<b>Annual Review of Residential, Commercial, and Village Overlay District Architectural Review Standards</b>	1

**Responses:**

- I like the objectives, with the completion of the Master Plan review, the future of Cass Lake Road, and the Roosevelt property having the highest priority.
- Yes and Cass Lake Road Streetscape Improvements including Roosevelt School Concept Plan is highest priority.
- Yes - Roosevelt is #1 and should have a vested interest from City Council.
- 7 and 8

**Q2: ARE THERE ANY ADDITIONAL GOALS YOU THINK SHOULD BE PRIORITIZED FOR THIS YEAR?**

Two commissioners mentioned increased collaboration and communication with City Council, specifically through a joint meeting twice a year. This was added to the City Planning and Development Work Plan as a goal.

Responses:

- These are a good set of goals. We should also consider additional ways to simplify remodeling and construction of single-family homes in the neighborhoods.
- Plan for the repaving of Cass Lake Road in 2028, parking improvement plan, better communication with boards and councils so we are not left out of incoming projects or concerns, sidewalk improvement plan for Orchard Lake Rd, vacant house ordinance.
- Meeting set between PC and City Council twice a year. We need to be on the same page.
- Restructure the Gibbs Plan so as not to make it difficult to developers

# Planning Commission 2025 Annual Planning Report and 2026 City Planning and Development Work Plan to City Council

City of Keego Harbor, MI

The Commission's Annual Report is intended to serve as a planning document that outlines the work plan for the next fiscal year and is a communication tool to share recent achievements and plans for future goals to the community.

## MEMBERSHIP

The following Commission members served the City of Keego Harbor on the Planning Commission in 2025:

- Joel Yoder, Chairperson
- Corine Streng, Vice Chairperson
- Gino Santia, Secretary
- Kevin Douglass, Commissioner
- David Emerling, Commissioner
- Karen Meabrod Commissioner
- Theresa Shimansky, City Council Liaison (through November 2025)
- Cristina Elsen, City Council Liaison (beginning December 2025)

## INTRODUCTION AND PURPOSE

As required by the Michigan Planning Enabling Act (MPEA) Act 33 of 2008, as amended, Planning Commissions shall submit a report of its annual activities.

*"A planning commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development."*

In addition to fulfilling this requirement, the Annual Report and Work Plan increases information-sharing between staff, boards, commissions, and the governing body and anticipates upcoming priorities, allowing the city to prepare and budget.

## MEETINGS

The Planning Commission met eleven (11) times in 2025.

1. Tuesday, January 28, 2025
  2. Tuesday, March 11, 2025
  3. Tuesday, March 25, 2025
  4. Tuesday, April 22, 2025
  5. Tuesday, May 27, 2025
  6. Tuesday, June 24, 2025
  7. Tuesday, July 22, 2025
  8. Tuesday, August 26, 2025
  9. Tuesday, September 30, 2025
  10. Tuesday, October 28, 2025
  11. Tuesday, December 2, 2025
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# 2025 in Review

The following tables outline various Planning Commission activities, including development reviews (site plan, special land use, etc.), and Zoning Ordinance and map amendments (rezonings) that were considered by the City in 2025.

Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
January 28	2024 Annual Planning Report and 2025 Work Plan	-	Reviewed activities completed in 2024 and 2025 goals, including drafting the Master Plan update to adopt in 2026, exploring the Cass Lake Road Redesign, updating the Sign Ordinance, and attracting development.	-	-	-	-
March 11	Master Plan Update	-	Reviewed public engagement plan and draft community engagement survey.	-	-	Survey was edited and released to the public on March 13 <sup>th</sup> .	-
	Zoning Ordinance Amendments	-	Discussion on Sign, Exterior Lighting, and Carports standards, and rezoning the Keego Harbor Manufactured Housing	-	-	Recommended further discussion at the March 25 Planning Commission meeting.	-
March 25	Zoning Ordinance Update	-	Discussion on updated Sign, Exterior Lighting, and Carports standards.	-	-	Planning Commission requested edits to the drafted standards for carports in the NR District and additional research on sign and lighting standards.	-

Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
April 22	Site Plan Review	2094 Cass Lake Rd	Site plan review for the demolition of two commercial garage and the construction of a garage with a second floor loft space.	Applicant requested site plan approval as presented.	Revisions to building materials necessary to meet Ordinance requirements, and information on landscaping and exterior lighting being installed are needed.	Approval on the condition of submitting required materials to determine compliance with architectural and exterior lighting standards. Planning Commission waived landscaping requirements.	-
	Zoning Ordinance Amendments	-	Discussion on updated Sign, Exterior Lighting, and Carports standards.	-	-	Planning Commission motioned to schedule a public hearing for the draft exterior lighting and carports standards as presented. Tabled Sign Ordinance and requested additional information for the May 27 <sup>th</sup> meeting.	-
May 27	Master Plan Update	-	Overview of community engagement results summary from the April 29 <sup>th</sup> Community Engagement Workshop and the Community Survey.	-	-	-	-
	Progress Report (Planned Unit Development)	1502 Wayward Dr	Planned Unit Development for 16 townhome units.	-	Planner overviewed progress made by applicant since December 5, 2024 Planning Commission Meeting.	-	-

Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
	Zoning Ordinance Amendments	-	Discussion on updated Sign standards and Village Overlay District Architectural standards.	-	-	Motion to schedule a public hearing for the Sign Ordinance at July 22 <sup>nd</sup> Planning Commission meeting. Requested draft language for Village Overlay District Architectural Standards.	-
June 24	Zoning Ordinance Amendments – Public Hearing	-	Carports and Exterior Lighting Standards	-	-	Motion to recommend that City Council approve the recommendations as presented at the July 17 <sup>th</sup> City Council meeting.	City Council tabled these amendments to provide time for the planner to make recommended edits to be presented at an upcoming City Council meeting.  Adopted amendments for carports at the September 18 <sup>th</sup> City Council meeting.

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Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
	Zoning Ordinance Amendments	-	Village Overlay District Architectural Standards and Sign Ordinance	-	-	Motion to schedule a public hearing for the Village Overlay District Architectural Standards for the July 22 <sup>nd</sup> Planning Commission meeting. Tabled discussion on the Sign Ordinance and requested additional information on temporary sign standards.	-
July 22	Special Land Use	3335 Orchard Lake Road	Special land use review for an indoor golf simulator	Request by applicant to approve the special land use as presented.	Approval must be conditioned on Planning Commission determining appropriateness of special land use and submitting additional information to determine compliance with screening, landscaping, and exterior lighting requirements.	Recommended conditional approval to allow the administrative resolution of screening, landscaping, and exterior lighting requirements.	Approved with Planning Commission's conditions.
	Zoning Ordinance Amendments – Public Hearing	-	Village Overlay District – Architectural Standards	-	-	Motion to recommend City Council approve the draft language as proposed.	Adopted by City Council at the August 21 <sup>st</sup> City Council meeting as presented.
	Zoning Ordinance Amendments – Public Hearing	-	Sign Ordinance	-	-	Motion to table discussion to allow additional research to be done on mural standards in other municipalities.	-

Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
August 26	Special Land Use	3000 Orchard Lake Road	Special land use for proposed event hall	Request by applicant to approve the preliminary site plan as presented.	<p>Applicant has not sufficiently demonstrated compliance with special land use standards.</p> <p>Applicant should submit landscaping plan, information on proposed outdoor patio, exterior lighting plan, and other information necessary to determine compliance with special land use standards and other relevant Zoning Ordinance standards.</p>	<p>Motion to table to allow applicant to address comments.</p> <p>Applicant withdrew application.</p>	-
	Planned Unit Development - Final Site Plan Review #2	1502 Wayward Dr	Planned Unit Development for 16 townhome units.	-	Applicant must submit updated final site plan by September 30 <sup>th</sup> .	<p>Motion to schedule public hearing for October 28<sup>th</sup> Planning Commission meeting pending submission of applicant's updated final site plan.</p> <p>Applicant did not submit updated final site plan by the deadline.</p>	-
September 30	Site Plan Review	2004 Cass Lake Road	Site plan review for a new construction chiropractor's office.	-	Project does not meet architectural standards	Tabled to allow the applicant to revise plans	-

Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
	Zoning Ordinance Amendments	-	Sign Ordinance	-	-	Motion to schedule a public hearing at the November Planning Commission meeting (moved to December 2)	-
	Master Plan Update	-	Overview of draft Housing and Neighborhoods chapter.	-	-	Planning Commission suggested edits which were implemented by the City Planner.	-
October 28	Site Plan Review	2091 Cass Lake Road	Site plan review for a reoccupancy of a wine retailer in former church building.	-	-	Approved on the condition of administrative approval of redesigned landscaping plan, confirmation that the rear façade will be painted, and providing liquor license.  Applicant provided required information to City Planner who provided administrative approval of the outstanding items,	-
	Master Plan Update	-	Overview of collaboration meeting on the Cass Lake Corridor and next steps.	-	-	-	-
December 2	Master Plan Update	-	Discussion on next steps that need to be taken by the City for the Cass Lake Corridor Redesign.	-	-	-	-
	Zoning Ordinance Amendments – Public Hearing	-	Sign Ordinance	-	-	Motion to table the public hearing for the January 2026 meeting.	-

Meeting Date	Project Type	Location	Project Description	Request	Planner's Report	Planning Commission Motion / Result	City Council Result
	Zoning Ordinance Amendments – Temporary Structures	-	Discussion on additional regulations for temporary structures.	-	-	Tabled to allow City Planner to implement suggested edits and allow additional Planning Commission discussion.	-
	Zoning Ordinance Amendments – Village Overlay District Building Heights	-	Discussion on amending the maximum building height in the Village Overlay District from 36 feet to 48 feet.	-	-	Motion to set a public hearing for the March 3 <sup>rd</sup> Planning Commission meeting.	-

### VARIANCES (ZONING BOARD OF APPEALS)

Date	Location / Project	Description	Status
August 21, 2025	Parcel #36-18-02-276-010	Request to reduce the maximum fence height requirement and reduce the required accessory structure side yard setback.	Denied
August 21, 2025	Parcel #36-18-02-428-021	Request to permit a driveway between the front of the home and the front lot line.	Approved
November 20, 2025	Parcel #36-18-01-356-001	Request to waive the screening wall requirement to allow a seven-foot wooden fence.	Tabled to allow the applicant to submit amended fencing specifications.
November 20, 2025	Parcel #36-18-02-427-073	Request to waive the screening wall requirement to allow a six-foot wooden fence.	Denied.

### REZONINGS (CITY COUNCIL)

Date	Location / Project	Description	Status
-	-	There were no requested rezonings in 2025.	-

### SPECIAL LAND USES (CITY COUNCIL)

Date	Location / Project	Description	Status
August 21, 2025	3335 Orchard Lake Road	Special land use request for an indoor golf simulator open 24 hours per day.	Approved

## MASTER PLAN

A draft of the Master Plan Update was completed in December, with the draft to be presented at the January 27<sup>th</sup>, 2026 Planning Commission meeting. The City Planner will request that the draft Master Plan be recommended to City Council to release the Plan for the required 63-day public comment period at this Planning Commission meeting.

# Looking Ahead: 2026 Goals and Work Plan

The following are projects for the Planning Department and Commission to accomplish in the upcoming year:

Task	Lead	Involved	Priority	Potential Budget* <small>(*Subject to Scope Refinement/ Finalization)</small>
<b>Cass Lake Road Streetscape Improvements</b> Develop design and placemaking concepts to transform the public realm on Cass Lake Road to support a walkable and vibrant commercial corridor.	Planning Engineering Economic Development	Tax Increment Finance Authority, Planning Commission, City Council, City Staff	High	\$30,000 - \$60,000
<b>Online Permitting System</b> Evaluate and select an online permitting system, BS&A's Planning, Engineering, and Zoning Module, Cloudpermit, or a similar service to streamline permitting processes.	Planning Zoning Engineering Building Department	Planning Commission, City Council, City Staff	High	\$10,000
<b>Sign Ordinance Rewrite</b> Complete the comprehensive review and rewrite of the Sign Ordinance.	Planning Zoning	Planning Commission, City Council	High	\$5,000
<b>Bi-Annual Joint Meeting</b> Increase collaboration with City Council through a bi-annual joint meeting.	City Staff	Planning Commission, City Council	High	-
<b>Capital Improvements Plan</b> Adopt a Capital Improvements Plan in accordance with Michigan Planning Enabling Act.	Planning	Tax Increment Finance Authority, Planning Commission, Parks and Recreation Commission, City Council, All City Staff and Departments	High	\$15,000

Task	Lead	Involved	Priority	Potential Budget* <i>(*Subject to Scope Refinement/ Finalization)</i>
<p><b>Development Process Clarification and Streamlining</b> Clarify discretionary review processes, such as waiver processes, in the Zoning Ordinance.</p> <p>Identify strategies to clarify and streamline development processes for residential and commercial property owners, including continuing to develop quick reference guides and potential pre-approved housing plans.</p>	Planning Zoning	Planning Commission, City Council	Medium	TDB, depending on scope of work
<p><b>Roosevelt School Concept Plan</b> Consider developing a concept plan showing the ideal development of the former Roosevelt School site to encourage responsible redevelopment of the site.</p>	Planning Zoning Economic Development Engineering	Tax Increment Finance Authority, Planning Commission, City Council, City Staff	Medium	\$10,000 - 25,000 <i>Depending on level of refinement, visualization, public engagement</i>
<p><b>Utilizing City Property</b> Release a Request for Proposals to redevelop the Corner Property in accordance with the adopted Master Plan.</p>	Economic Development Planning Zoning	Planning Commission, Tax Increment Finance Authority, City Council	High	-
<p><b>Vacant Commercial Property Marketing Sheets</b> Create marketing sheets highlighting important information for developers about each vacant commercial property in the City to encourage reoccupancy and redevelopment.</p>	Economic Development Planning Zoning	Planning Commission, Tax Increment Finance Authority, City Council	Medium	\$250 per sheet
<p><b>Annual Review of Residential, Commercial, and Village Overlay District Architectural Review Standards</b> Review standards to ensure building materials list is up to date and identify any potential process improvements.</p>	Planning Zoning	Planning Commission, City Council	Medium	\$2,000

## **UNFINISHED BUSINESS**

- **Master Plan Update**

- The Master Plan Draft will go before City Council at the February meeting for approval to distribute for review by required entities and neighboring jurisdictions. McKenna will then open the 63-day comment period to the public. The public hearing will be held at a later date.

*Motion by Commissioner Meabrod; supported by Commissioner Douglass to send to City Council February 19, 2026.*

*Unanimous Vote: Ayes: 5      Nays: 0      Motion Carries*

- **Article 14 Signs - Public Meeting called to order at 7:47 pm**

- Discussions on signs and public hearing are tabled until our next meeting on March 03, 2026.

*Motion by Council Member Elsen; supported by Commissioner Douglass to table the sign ordinance memo dated January 22, 2026.*

*Unanimous Vote: Ayes: 5      Nays: 0      Motion Carries*

## **ADJOURNMENT**

Chairperson Yoder adjourned the meeting at 10:42 p.m.

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Joel Yoder  
Chairperson, Planning Commission

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Wendy Clufetos  
City of Keego Harbor, Recording  
Secretary



# Planning & Zoning Report

January 2026

McKenna assists the City of Keego Harbor on zoning, planning, and economic development matters. This document serves as the official Planning Commission report on Planning and Zoning activities and services in January 2026. Contact your McKenna Team via email anytime:

- **John Jackson, AICP, NCI**, Project Director ([jjackson@mcka.com](mailto:jjackson@mcka.com))
- **Paul Urbiel, AICP**, Project Manager ([purbiel@mcka.com](mailto:purbiel@mcka.com))
- **Emily Huhman, AICP**, Project Planner ([ehuhman@mcka.com](mailto:ehuhman@mcka.com))

## DEVELOPMENT PROJECTS WITH PLANNING COMMISSION INVOLVEMENT

Address	Zoning	Project / Approval Sought	Status	Comment / Latest Action
2091 Cass Lake Rd.	C-1 Local Business, CLR Overlay	Site plan approval for a wine retailer and office	Open for Business	Applicant passed all inspections from the Building Department and the Fire Department and is open for business. Conditions of approval relating to landscaping and painting the building will need to be met by June 30 <sup>th</sup> , 2026.
2004 Cass Lake Rd.	C-1 Local Business, CLR Overlay	Site plan approval	Site Plan Review #2	Project tabled at the September 30, 2025 Planning Commission meeting. Awaiting updated plans.
3080 Orchard Lake Rd.	C-2 General Business, CDB Overlay	Site plan approval	Site Plan Review #1	Project will be discussed at the March 3, 2026 Planning Commission Meeting.

## ONGOING PLANNING & ZONING PROJECTS - JANUARY

### Master Plan Update

The draft Master Plan was recommended by City Council for its release for the required 63-day comment period at the February 19<sup>th</sup> City Council Meeting. McKenna has implemented all suggested edits and has sent notice to adjacent municipalities and other required entities. The draft Master Plan is available online on the Master Plan project website (<https://mckenna.mysocialpinpoint.com/keegoharborplan>) and the City’s website on the Planning & Zoning Department page ([https://www.keegoharbor.org/departments/planning\\_zoning/index.php](https://www.keegoharbor.org/departments/planning_zoning/index.php)). A hard copy is also available at City Hall. The updated draft will be presented at the April 28<sup>th</sup> Joint Planning Commission/City Council meeting with the goal of adopting the Master Plan.

### Implementing 2026 Workplan

At the January Planning Commission meeting, the 2025 Annual Planning Program and 2026 Work Plan was reviewed and approved by Planning Commission and reviewed by City Council at their February meeting. Below are the high priority items in the 2026 Work Plan

1. **Cass Lake Road Streetscape Improvements.** Develop design and placemaking concepts to transform the public realm on Cass Lake Road to support a walkable and vibrant commercial corridor. (Estimated Budget: \$30,000-\$60,000).

#### HEADQUARTERS

235 East Main Street  
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2. **Online Permitting System.** Evaluate and select an online permitting system, BS&A's Planning, Engineering, and Zoning Module, Cloudpermit, or a similar service to streamline permitting processes. (Estimated Budget: \$10,000)
3. **Sign Ordinance Rewrite.** Complete the comprehensive review and rewrite of the Sign Ordinance. (Estimated Budget: \$5,000)
  - Current underway, most recent draft of Sign Ordinance is included in the Planning Commissions' packets.
4. **Capital Improvements Plan (CIP):** Adopt a Capital Improvements Plan in accordance with the Michigan Planning Enabling Act. (Estimated Budget: \$15,000)
5. **Utilizing City Property:** Release a Request for Proposals to redevelop the Corner Property in accordance with the adopted Master Plan. (Estimated Budget: TBD, Flies & Vanderbrink taking the lead on this item with TIFA Board).

Which item would the Planning Commission like to work on first? McKenna will bring information for next steps for whatever item Planning Commission would like to pursue first.

### PLANNING AND ZONING INQUIRIES

Date	Address	Zoning	Inquiry	Planner's Review
January 7	3325 Orchard Lake Rd	C-2, General Business	Annual A-Frame, Banner, or Flag/Yard Sign Permit Application	Reviewed updated sign permit application information. Banner signs do not comply with the Zoning Ordinance. Requested that applicant remove banners.
January 14	3080 Orchard Lake Road	C-2, General Business, CBD Overlay	Realtor requested zoning verification letter.	Planner provided requested letter.
January 14	2050 Willow Beach St	NR, Neighborhood Residential	Architectural Review – Façade Improvement	Proposed project did not pass. Provided applicant with review identifying potential changes to increase score. Awaiting updated plans.
January 22	2480 Wall St	NR, Neighborhood Residential	Zoning Permit Application – Residential Addition	Conditionally approved pending architectural review. Awaiting building materials information from applicant.
January 26	1704 & 1712 Cass Lake Front Rd	NR, Neighborhood Residential	Inquirer requested information on lot combination process and dimensional requirements.	Planner provided requested information.
January 26	2900 Hensman	NR, Neighborhood Residential	Zoning Permit Application - Addition	Application does not meet Zoning Ordinance requirements as presented. Provided applicant with suggested edits.
January 26	1754 Cass Lake Front	NR, Neighborhood Residential	Zoning Board of Appeals Application - Driveway	Application withdrawn, variance not needed.
January 28	3064 Orchard Lake Rd	C-2, General Business, CBD Overlay	Inquirer requested information regarding required setbacks for signs.	Planner provided requested information.



# Memorandum

**TO:** City of Keego Harbor Planning Commission

**FROM:** Paul Urbiel, AICP  
Emily Huhman, AICP

**SUBJECT:** **Potential Zoning Ordinance Text Amendments to Article 9A Village Overlay District - Appendix**

**DATE:** February 23, 2026

The dimensional standards within the Village Overlay District support flexibility through its minimum setbacks and dimensional standards. However, the current language regarding building height does not reflect modern commercial construction practices, which typically have story heights between 13 and 16 feet. The current maximum height of 36 feet to building eaves, averaging 12 feet per story, is more consistent with residential building heights rather than commercial.

At their December 2, 2025 meeting, the Planning Commission discussed the draft language and recommended the potential amendment be set for public hearing. The following memorandum outlines the recommended ordinance changes that were discussed at the December 2<sup>nd</sup> meeting and implements previously suggested changes offered by the Planning Commission. **If adopted, the Ordinance would require a maximum building height of three stories, but updates the height in feet to accommodate modern commercial development. This language also removes language measuring the height to the building eaves, which does not accommodate flat roof buildings.**

All Zoning Ordinance language proposed to be removed is shown in ~~strike through~~, all text that would be inserted is highlighted in grey.

We look forward to further discussion at your upcoming meeting.

## DRAFT ZONING ORDINANCE LANGUAGE

### Appendix

Zoning District	Lot Regulations			
	Minimum Lot Area	Minimum Lot Width	Maximum Gross Livable Area	Maximum Lot Coverage
Village Overlay District (VOD)	30,000 s.f. Max. (see footnote 1)	246 ft. Max. (see footnote 2)	-	No requirement



Setbacks (Feet)				
Front Yard	Side Yard		Side Yard Facing a Street	Rear Yard
	Least One	Total of Two		
Build-to-line 30'-40' from road centerline; 0'-10' from Orchard Lake Rd R.O.W.	0' (see footnote 3)	0' (see footnote 4)	-	3' (see footnote 5)

Structure Regulations			
Maximum Building Height		Maximum Dwelling Unit Floor Area (sq.ft)	
Stories	Feet		
3' (see footnote 6)	<del>36</del> 48' to building eaves (see footnote 6)	350 s.f. (see footnote 7)	

Footnotes:

1. Properties with R-T District underlying zoning shall have 15,000 s.f. max and properties with RM District underlying zoning shall have 20,000 s.f. max.
2. Properties with R-T District or RM District underlying zoning shall have 132 ft. max.
3. Properties with R-T District underlying zoning shall have a 3.5' minimum setback.
4. Properties with R-T District underlying zoning shall have a 7' minimum setback.
5. Properties with R-T District underlying zoning shall have a 3' minimum setback (clear 30' corresponding to garage doors via setback and/or easement).
6. A fourth story may be allowed within the Central Business District (CBD) Context Zone. Further, such additional story must be stepped back from the front building line by a minimum of ten feet.
7. Properties with R-T District underlying zoning shall have an 800 s.f. minimum.



# Memorandum

**TO:** Keego Harbor Planning Commission  
Zaid Arabo, ZA Design Build, Project Applicant

**FROM:** Paul Urbiel, AICP, Senior Principal Planner  
Emily Huhman, AICP, Associate Planner

**SUBJECT:** Site Plan Review for 3080 Orchard Lake Road

**DATE:** February 24, 2026

## INTRODUCTION

The purpose of this memo is to review the submitted site plan for 3080 Orchard Lake Road (Parcel # 18-02-435-051), hereafter referred to as “the project” or “the proposed project”. Zaid Arabo of ZA Design Build, hereafter referred to as “the applicant”, submitted an application on behalf of the property owner Jason Najor on February 3, 2026. The project consists of a change of the existing use to be split into an 8,368 square foot restaurant and a 5,745 square foot tenant office space at the intersection of Orchard Lake Road and Willow Beach Street. Within this memorandum, language directly from the Keego Harbor Zoning Ordinance or the Keego Harbor Master Plan are *italicized*; any recommendations provided by the planners are **bolded**.



*Existing site conditions as shown on Google Street View in May 2025.*



OVERVIEW

The proposed project would be a change in the current use of the property at the intersection of Orchard Lake Road and Willow Beach Street. The property is in the Village Overlay District in the Central Business District and has an underlying zoning of C-2 General Business. The proposed uses of the site are a café restaurant and office tenant space with a combined total of 67 parking spaces.

ZONING AND USE

The principal use of the site will be a dine-in restaurant café and an office tenant space. These uses, a restaurant with a dining room and a business office, are principally permitted uses in the Village Overlay District.

Because the proposed project is a use change within an existing building with façade improvements in the Village Overlay District, only the use requirements and architectural design standards apply to the project.

Section 9(A).01 of the Zoning Ordinance details when the requirements of the Village Overlay District apply to properties within the District:

Development Type	Use Requirements (Sec. 10.03)	Development Standards (Sec. 10.04)	Architectural Design Standards (Sec. 10.05)	Landscaping and Screening Requirements (Sec. 10.06)
Facade improvements only			X	
New construction	X	X	X	X
Building expansions:				
Twenty-five (25) percent or more of current floor area		X	X	X
Less than twenty-five (25) percent of current floor area			X	
New uses or changes in use within an existing building:				
Which require additional parking of ten (10) percent or more of the current number of parking spaces	X	X	X	X
Which do not require additional parking of ten (10) percent or more of the current number of parking spaces	X			
Any project benefiting from off-street parking flexibility through Sec. 10.07	X	X	X	X
Any project benefiting from additional building stories beyond the underlying district as allowed by section Sec. 10.04	X	X	X	X

The scope of work for this project includes façade improvements and a change of use of the existing building that does not require an additional ten percent or more of the current number of parking spaces. As a result, only the use requirements and architectural design standards of the Village Overlay District apply to the project.

Section 3.08 – Table of Land Uses by Zoning District

The principal uses of the site are a café restaurant and tenant office space, which are a restaurant (with dining room) and a business office use in the table of land uses. These uses are principally permitted in the Village Overlay District.



**Section 8.01 – Additional use standards.**

*(f) Outdoor dining.*

Comments: The applicant’s renderings include a ground level outdoor dining area and balcony but does not depict this in the plans. **If the applicant intends to include outdoor dining, information should be provided on the site plan to ensure compliance with Section 8.01 (f) of the Zoning Ordinance.**

**Section 9(A).05 – Architectural design standards**

Section 9(A).05 outlines architectural design standards for the Village Overlay District. Because the proposed project includes a façade improvement within the Central Business District Context Zone, the proposed project must meet the architectural design standards in this section.

[...]

*(c) Street facade.*

*(1)(b) Storefront opening. The storefront opening shall be a rectangular opening, ten (10) feet to twelve (12) feet high (excepting a fourteen-inch to twenty-four-inch height, opaque durable base), and extend entirely column-to-column or pilaster-to-pilaster. The opening shall be almost entirely glass (window or showcases) with few subdivisions. The building entry shall be centered in the storefront opening (or left or right justified) and recessed minimum that of the door width. Maximum width of door recess area at right-of-way or build-to-line seven (7) feet. Display windows must be internally lit until 10:00 p.m., 2700k to 3000k color temperature. All openings, including porches, galleries, arcades, and windows, with the exception of shopfronts, shall be square or vertical in proportion.*

**Comments:** The site plan appears to show the storefront opening as one material but does not specify glass. Additionally, there are no measurements specifically for the storefront opening. **The applicant should confirm that the opening will be almost entirely glass, and that the opening is ten to twelve feet high, and that the width of the door recess area at the right-of-way or build-to-line is seven feet or less.**

*(d) Rear facades.*

[...]

**Comments:** The site plan does not include a north elevation which would show the rear facade. **The applicant should submit a north elevation consistent with the Ordinance’s prescriptions for a rear facade.**

*(e) Materials.*

*(1) Maintaining consistent palette of materials is important to establish continuity within the streetscape and to improving the overall appearance of the Village Overlay District. Allowable materials are identified on the "Village Overlay District Permitted Materials List" on file at Keego Harbor City Hall.*

**Comments:** The submitted elevations propose to maintain the existing E.I.F.S and paint it white and add a 4 foot base of dark gray cultured stone. The existing façade is nonconforming to the architectural design standards of the Village Overlay District. The existing façade is clad in EIFS,



which is not a material listed in the *Village Overlay District Permitted Materials List*. The applicant did not provide a rear facade elevation with proposed facade materials. It should be noted that the site plan is not consistent with the renderings provided by the applicant.

The proposed changes would add a stone base and pedestrian-scaled awnings to the building, bringing the façade closer to compliance with the requirements of the Village Overlay District. The included renderings seem to imply a building that is in even closer alignment with VOD requirements.

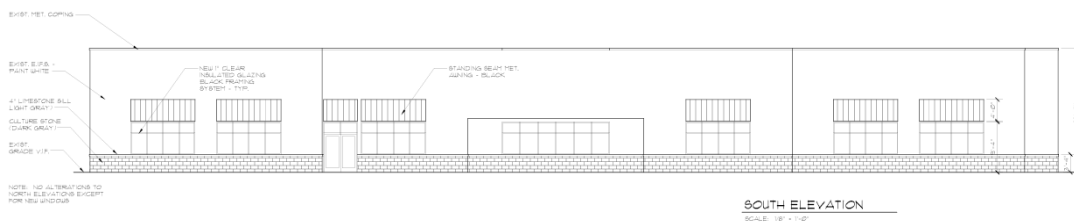
While we encourage the applicant to completely align the proposed renovations with the Village Overlay District Permitted Materials List, the existing nonconformity would be reduced since a compliant material and details are being added.

**The applicant must provide elevations of all facades.**

If provided renderings are to indicate design intent, those renderings should be consistent with the proposed plans.



The front rendering (Top) and rear rendering (Bottom) of the proposed project. These renderings differ from what is proposed in the plans.



Architectural elevation of the southern (front) facade.



**ARTICLE 15 – GENERAL PROVISIONS**

**Section 15.01 – Exterior lighting**

*(b)(5) All lighting, including ornamental lighting, shall be shown on site plans in sufficient detail to allow determination of the effects of such lighting upon adjacent properties and traffic safety. Building or roof-mounted lighting, including neon lighting, intended to attract attention to the building and/or use and not strictly designed for security purposes shall not be permitted. Temporary holiday lighting and decorations are exempt from the aforementioned provision. Lighting designer and/or fixture manufacturer shall provide a drawing with photometric layout of the proposed design to show actual initial foot-candle levels on a plot plan sealed by a professional engineer or architect licensed in the State of Michigan. Submitted drawing shall include detailed fixture schedule, which shall include manufacturer's name, catalog number, lamp type and wattage. A complete set of manufacturer's catalog specification sheets for each fixture type used on lighting design shall be included with photometric submittal.*

**Comments: The applicant did not provide a photometric plan with information on proposed exterior lighting and mounting fixtures. The applicant should confirm that there will be no changes to the exterior lighting of the building. Any changes would require a photometric plan.**

**Section 15.04 – Walls**

*(a) In addition to walls specifically required by other sections of this Ordinance, between the protected use district and uses and districts listed below there shall be provided and maintained a masonry wall of not less than six (6) feet in height. In the case of corner and/or double frontage lots where the screen wall is required alongside and/or rear lot lines adjacent to a local street as designated in the City's Master Plan, said wall shall be four (4) feet in height and subject to Section 15.03 above.*

**Comments: The site abuts a residential district to the north, but the plan does not indicate the construction of a wall between the commercial use and the residential district, only a landscaped island. A six foot masonry wall is required between residential and commercial uses unless waived by the Planning Commission.**

**Section 15.25 – Sidewalks and bikeways**

*For all developments requiring site plan approval, either a new public sidewalk or bikeway, or the reconstruction of existing sidewalks or bikeways, shall be required to be constructed to City standards for the perimeter of the lot which abuts a major, intermediate or collector street as defined in the City's Master Plan. New or reconstructed sidewalks or bikeways shall be aligned with existing or proposed sidewalks or bikeways. All multiple family residential projects require interior sidewalks. Other residential and non-residential projects may require interior sidewalks to facilitate pedestrian traffic safety, organization and convenience.*

**Comments: Sidewalks located on the site are the responsibility of the applicant to maintain. Any necessary sidewalk repairs, as determined by the Building Official, must be made before a certificate of occupancy is issued.**

**Section 15.27 – Screening of trash storage areas (dumpsters)**

[...]

*(c) A brick or decorative faced masonry wall, a minimum of six (6) feet in height, shall enclose three (3) sides of the storage area and be at least one (1) foot higher than the trash receptacle. An obscuring gate shall be provided on the remaining side to provide complete enclosure of the trash storage area and said gate shall be kept closed except during loading or unloading.*

**Comments: The applicant notes that existing dumpster enclosure on the property will be updated with a CMU wall and a concrete pad but does not specify the height of the proposed enclosure. The Ordinance specifies a six-foot brick or decorative masonry wall enclosing three sides of the dumpster as well as an obscuring gate. The applicant should update their plans to reflect these specifications.**

*(d) The trash storage area shall be located on a concrete pad, at least ten (10) feet wide by twenty (20) feet deep, constructed with a minimum of six (6) inches of three thousand five hundred (3,500) P.S.I. concrete with air entrainment containing six-inch by six-inch ten-gauge welded wire mesh. The above-mentioned concrete pad shall provide an approach no less than ten (10) feet in width or no less than the width of the gate; it shall extend at least eight (8) feet in front of the obscuring gate to support the front axle of a refuse vehicle. In addition, the trash storage area shall be large enough to accommodate recyclables, grease disposal receptacles, etc. The Planning Commission may increase or reduce the size of the enclosure where a different size storage area is deemed necessary.*

**Comments: The applicant notes that the existing wooden fence dumpster enclosure will be removed and a concrete and CMU wall dumpster enclosure will be constructed. The plans include little detail about the specifications of this dumpster enclosure. The applicant should revise their plans to include a 10 foot wide by 20 foot deep concrete pad constructed with a minimum of six inches of 3,500 PSI concrete with air entrainment containing six-inch by six-inch ten-gauge welded wire mesh and an approach no less than the width of the gate that extends at least 8 feet in front of the obscuring gate.**

*(e) Steel bollards, a minimum of six (6) inches in diameter and filled with concrete, shall be placed at both sides of the gate opening and to the rear of the storage area to prevent damage to the walls and gates.*

**Comments: The applicant does not indicate any steel bollards meeting the requirements of this section. The applicant should include these details on updated plans.**

[...]

**CONCLUSION**

As a new use in an existing building in Keego Harbor's Central Business District, this project has the potential to contribute to the vibrancy of the commercial corridor along Orchard Lake Road. As proposed, the project does not provide enough information to meet the architectural design standards of the Village Overlay District or the general provisions of the Zoning Ordinance.

We believe the outstanding information is relatively minor and can be handled administratively. The Planning Commission can elect to postpone action on this application to allow for revision of the application and Planning Commission reconsideration at a later date. Alternatively, if the Planning Commission is willing to allow the outstanding items to be reviewed administratively, we believe the Commission can consider approving the application with conditions. The following items are outstanding and must be addressed:

1. *A revised submission should include updated building elevations that provide storefront opening materials and dimensions. Updated elevations should also include a north elevation.*
2. *If outdoor dining is included in the proposal, details of the outdoor dining operations, construction and configuration must be provided for review.*
3. *The applicant should provide a photometric plan of the site or confirm that there will be no changes to the existing lighting.*
4. *A revised submission should include a screening wall between residential and commercial uses.*
5. *A revised submission should include a more detailed description of the updated dumpster enclosure to confirm compliance with Section 15.27.*

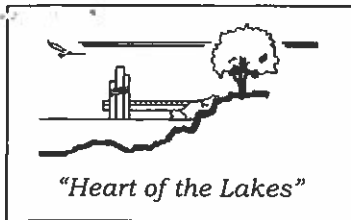
Please feel free to contact us with any questions. We look forward to discussing this matter with you at a future meeting.

Respectfully submitted,

**McKenna**

**Paul Urbiel, AICP**  
Senior Principal Planner

**Emily Huhman, AICP**  
Associate Planner



# City of Keego Harbor Site Plan Review Application

CASE NO. PSPR 260001  
**PAID** DATE FILED 2/3/26  
 REVIEW CHECKLIST RECEIVED Y/N  
**FEB - 3 2026**  
 101-000-614.000 APPLICATION FEE 300.00  
 CITY OF KEEGO HARBOR 001-000-043.000 DISCREW FEE 2000.00  
 TOTAL PAID 2300.00

- Sketch Plan
- Preliminary Site Plan
- Final Site Plan
- Planned Unit Development

### APPLICANT

Zaid Arabo Designer  
 Name Title  
ZA Design Build  
 Company  
801 S. Adams Rd., S. 212  
 Address  
Birmingham MI 48009  
 City State Zip Code  
248 767 6928  
 Telephone Number

12407

### PROPERTY OWNER

Jason Najor President  
 Name Title  
 Company  
3080 Orchard Lk Rd.  
 Address  
Keego Harbor MI 48320  
 City State Zip Code  
248-431-0826  
 Telephone

### DESCRIPTION OF PROPERTY

3080 Orchard Lk Rd. Keego Harbor, MI 48320  
 Address(es) of Property (if applicable)  
 Sidwell Number(s) see survey  
 Legal Description of Property see survey

### PRESENT ZONING DISTRICT FOR PROPERTY:

Overlay District

**PROPOSED USE**

To split the first floor 2/3 for Cafe Jolie & Barbat Holdings 1/3 Head Quarters office & to keep the lower level walk foot for the existing tenants.

Attached hereto and made a part of this application and petition are copies of a site plan showing the subject property and the intended layout drawn in accordance with the requirements of the Zoning Ordinance and other applicable ordinances of the City of Keego Harbor.

I the undersigned do hereby make application and petition for Site plan review pursuant to the Zoning Ordinance of the City of Keego Harbor.

  
Signature of Applicant

2.3.2026  
Date

STATE OF MICHIGAN  
OAKLAND COUNTY

On this 3<sup>rd</sup> day of February, 2024, before me personally appeared the above named person, who being duly sworn, says that he/she has read the foregoing application for Site Plan Review, by him/her signed, and knows the contents thereof, and that the same is true of his/her own knowledge.

7/22/2029  
My Commission Expires

  
Notary Public, Oakland County, Michigan

I the undersigned, do hereby attest that I am the owner of the property that is the subject of this application and petition for Site plan review and authorize said application and petition.

  
Signature of Owner

2-3-26  
Date

STATE OF MICHIGAN  
OAKLAND COUNTY

STACY GOODALL  
NOTARY PUBLIC, STATE OF MICHIGAN,  
COUNTY OF OAKLAND  
My Commission Expires July 22, 2029  
Acting In the County of Oakland

On this 3<sup>rd</sup> day of February, 2024, before me personally appeared the above named person, who being duly sworn, says that he/she has read the foregoing application for Site Plan Review, by him/her signed, and knows the contents thereof, and that the same is true of his/her own knowledge.

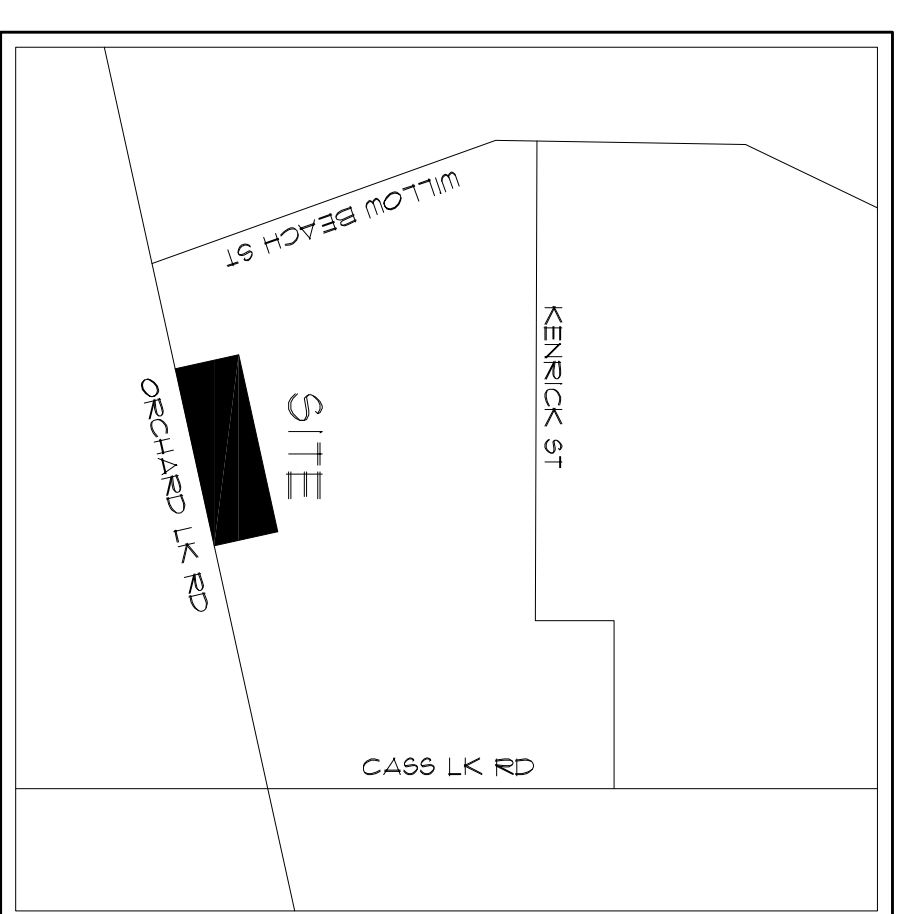
7/22/2029  
My Commission Expires

  
Notary Public, Oakland County, Michigan

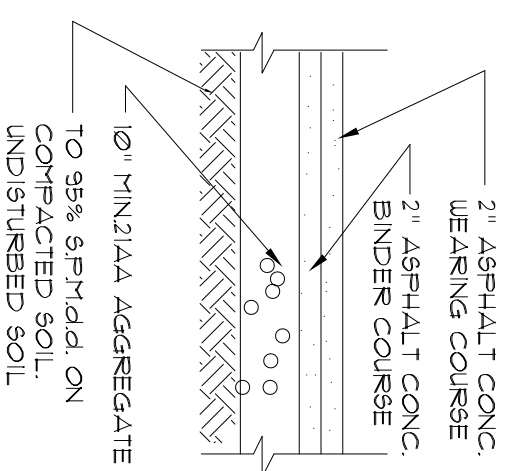
**Permit expires 1 year for date of issue, Permit Renewal fee is \$50.00**

SHEET INDEX:

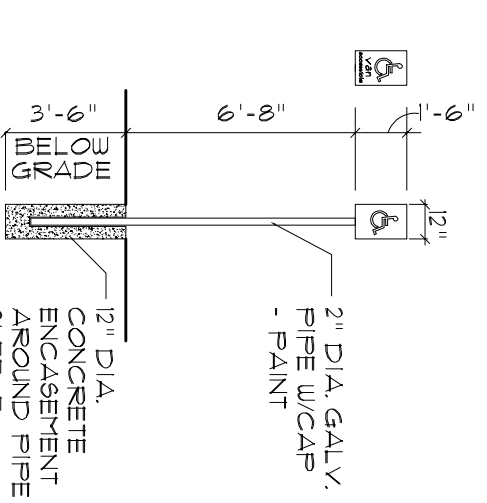
AS.1	ARCHITECTURAL SITE PLAN
AS.2	LANDSCAPE PLAN
AS.3	FLOOR PLAN
AS.4	EXTERIOR ELEVATIONS
C.1	CERTIFIED SURVEY



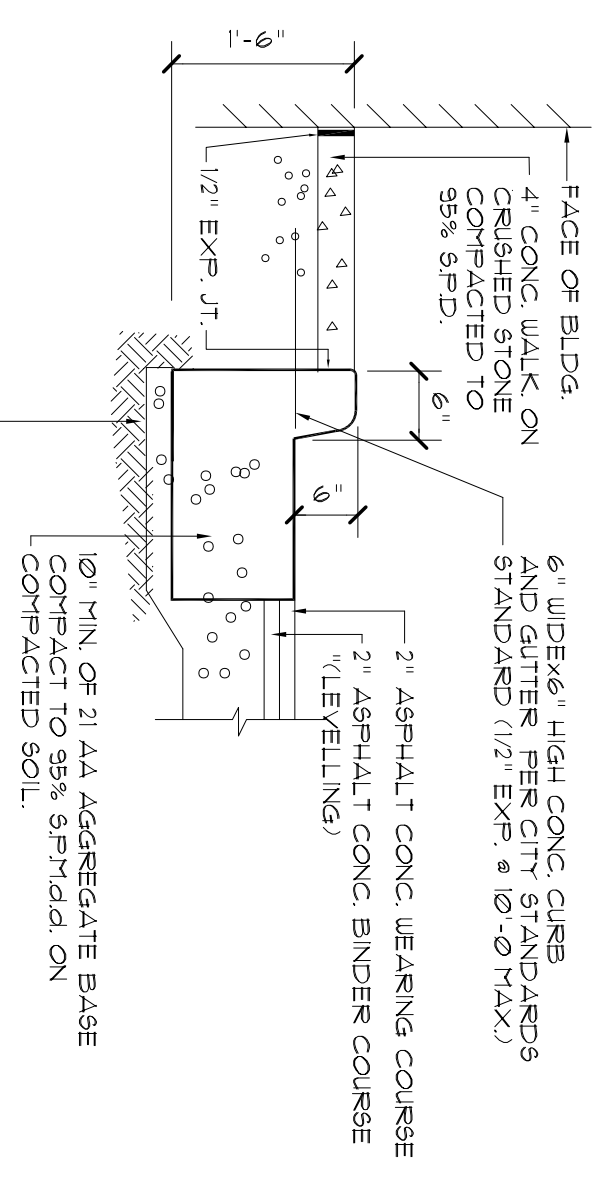
LOCATION MAP  
NO SCALE



ASPHALT PAVT. DETAIL  
NO SCALE



B.F. PARKING SIGN  
NO SCALE



ASPHALT PAVT. / CURB  
DETAIL / CONG. SIDEWALK  
NO SCALE

**PROPOSED CAFE JOLIE AND FUTURE OFFICE**  
THE CITY OF KEEGO HARBOR, MICHIGAN

PROPRIETOR:  
BARBARI HOLDINGS, LLC  
5455 BROADFIELD ROAD  
WEST BLOOMFIELD, MICHIGAN 48322  
(248) 789-7789

**SITE DATA:**

ZONED: VILLAGE OVERLAY  
SIZE: 48698 SF ± 1.1 ACRE

**BUILDING DATA:**

SIZE AT GRADE LEVEL: 14394 SF (GROSS)  
CAFE JOLIE: 8511 SF (GROSS)  
FUTURE OFFICE USE: 5883 SF (GROSS)  
PROPOSED USE: B - BUSINESS

**BUILDING TO SITE RATIO:**

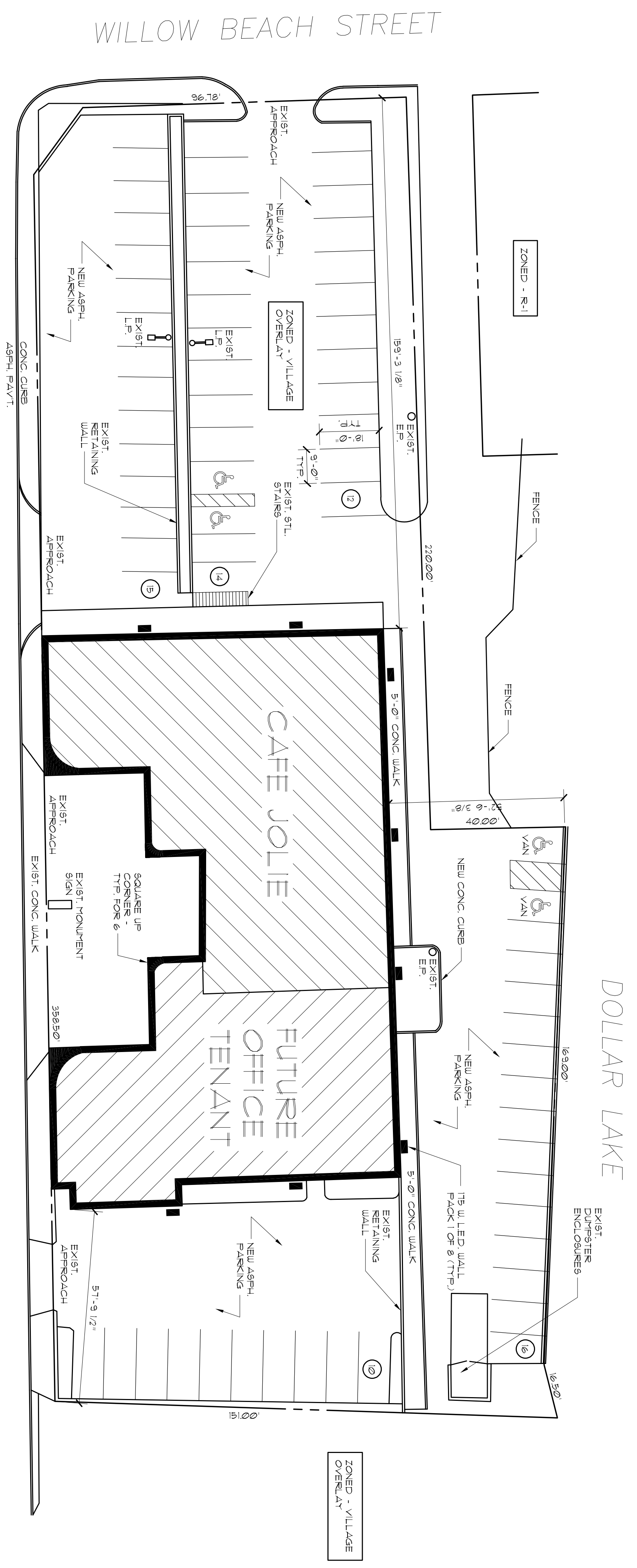
BUILDING: 14394 SF (GROSS)  
SITE: 48698 SF ± 1.1 ACRE  
BUILDING RATIO: 29.56%

**PARKING DATA:**

PARKING REQUIREMENTS:  
TOTAL PROVIDED: 61 SPACES  
HANDICAP PARKING:  
REQUIRED: 3 SPACES  
PROVIDED: 4 SPACES

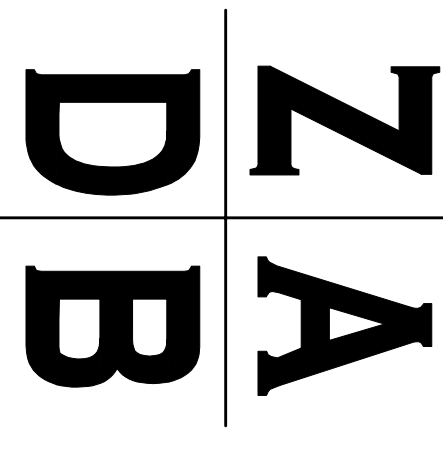
**LEGAL DESCRIPTIONS:**  
SEE SURVEY

**CAFE JOLIE**  
FULL SERVICE RESTAURANT CAFE  
FULL SERVICE BAR WITH LIQUOR, BEER AND WINE  
**3080 ORCHARD LK. RD.**  
HOURS: TO CLOSE BY 11 PM



ARCHITECTURAL SITE PLAN  
SCALE: 1" = 20'  
NORTH

THIS SITE PLAN WAS CREATED USING SATELLITE  
IMAGERY AND RELATIONSHIPS BETWEEN  
EXISTING SOLID RELATIONS. THERE ARE  
APPROPRIATE AND ARE NOT TO BE USED FOR  
ANYTHING OTHER THAN PRELIMINARY PURPOSES. NO  
DESIGN BUILD SHALL BE HELD HARMLESS FOR ANY  
ERRORS OR OMISSIONS CONTAINED IN THIS DOCUMENT.



801 SOUTH ADAMS ROAD  
SUITE 212  
BIRMINGHAM,  
MICHIGAN 48009  
OFFICE: 248-767-6928



PROJECT:  
PROPOSED  
CAFE JOLIE AND  
FUTURE OFFICE  
3080 ORCHARD  
LAKE ROAD  
KEEGO HARBOR,  
MICHIGAN 48320

ISSUED FOR:  
SPA  
02-03-2026

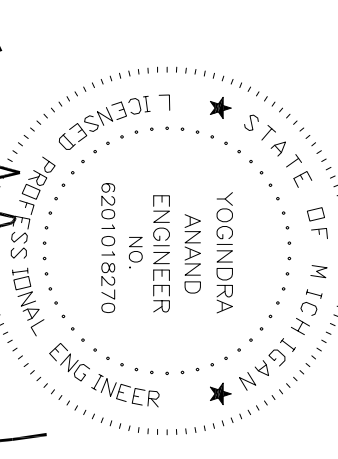
DO NOT SCALE PRINTS.  
USE FIGURED  
DIMENSIONS ONLY

JOB NO.  
**25-100**

SHEET NO.

**AS.1**

801 SOUTH ADAMS ROAD  
SUITE 212  
BIRMINGHAM,  
MICHIGAN 48009  
OFFICE: 248-767-5928



**PROJECT:**  
PROPOSED  
CAFE JOLIE AND  
FUTURE OFFICE  
3080 ORCHARD  
LAKE ROAD  
KEEGO HARBOR,  
MICHIGAN 48320

**ISSUED FOR:**  
SPA  
02-03-2026

**DO NOT SCALE PRINTS.**  
USE FIGURED  
DIMENSIONS ONLY

**JOB NO.**  
**25-100**

**SHEET NO.**

**AS.2**

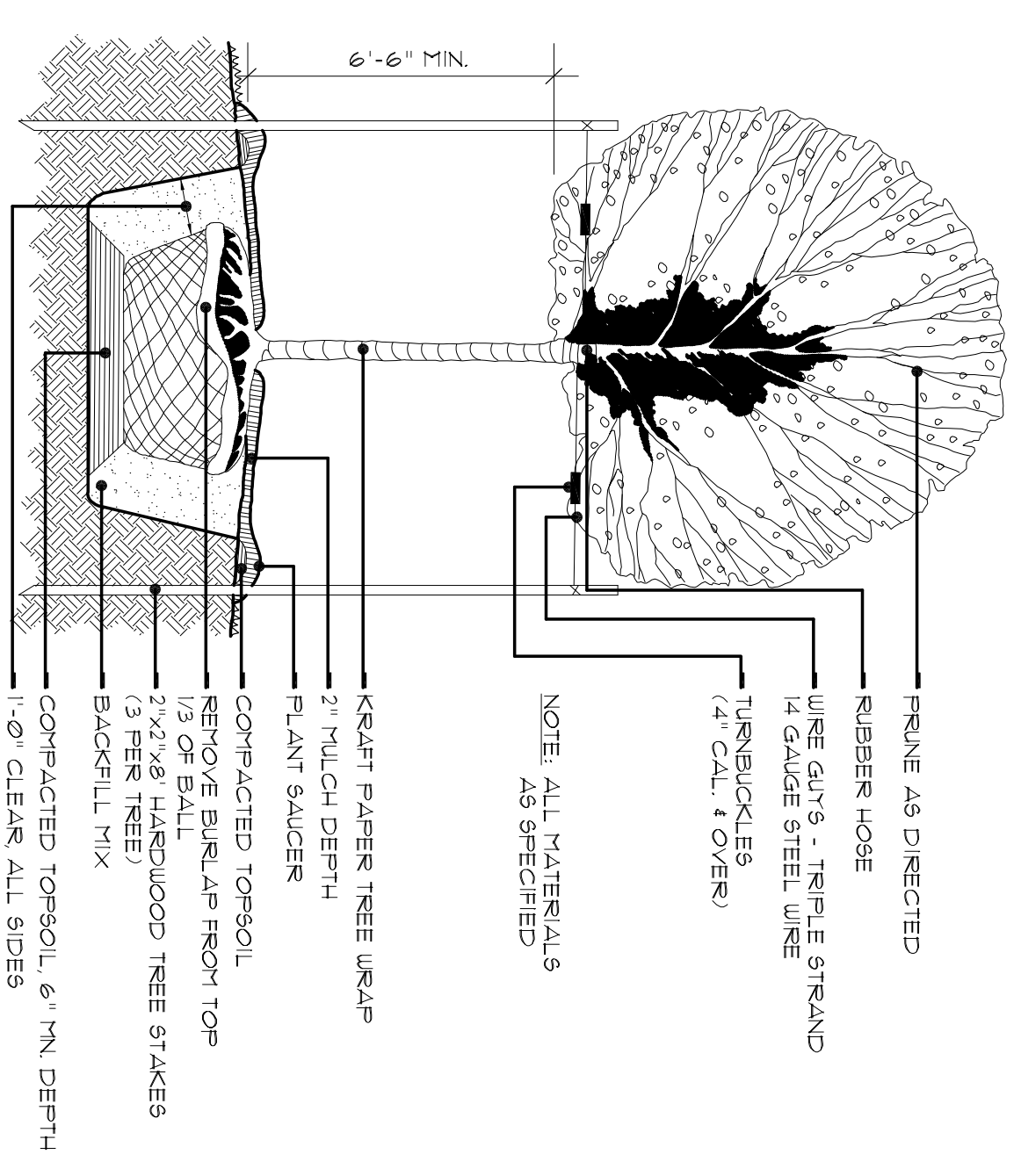
**LANDSCAPE NOTES:**

1. OWNER/CONTRACTOR MUST CONSENT TO ALL LANDSCAPING AND SCREENING REQUIREMENTS OF CITY OF KEEGO HARBOR REFER TO THE CITY OF KEEGO HARBOR ZONING ORDINANCE
2. INSTALL 4" DEEP SHREDED BARK MULCH TO ALL PLANTING AREAS BEDS AND TREE SAUCERS (NOT FOR FILL/IN)
3. OWNER/CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PIPES AND STRUCTURES AS WELL AS THE LOCATION OF EXISTING TREES AND VEGETATION. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE/REMOVAL OF SAID UTILITIES.
4. ANY DISCREPANCIES BETWEEN PLANS NOTES DETAILS AND EXISTING CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE. OWNER/CONTRACTOR ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
5. OWNER/CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING MATERIALS/IMPROVEMENTS DURING DRAINAGE CONSTRUCTION.
6. SITE BOUNDARY, TOPOGRAPHY, UTILITIES AND OTHER BASE INFORMATION PROVIDED BY OTHERS.
7. OWNER/CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT SCHEDULES AND THOSE INDICATED ON PLANS. OWNER/CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF QUANTITIES DRAIN.
8. OWNER/CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO PLANT MATERIAL LOCATIONS IN FIELD AS NECESSARY. THE LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
9. ALL PLANT MATERIAL SHALL BE OF THE SIZES CALLED FOR IN THE PLANT SCHEDULES. ANY PLANT MATERIAL NOT MEETING THE SIZED AND/OR QUALITY AS CALLED FOR SHALL BE REMOVED FROM SITE. ALL TREES SHALL BE INSPECTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE.
10. ALL PROPOSED TREES OVER 2" CAL. SHALL BE GATED/STAKED BEFORE SEE EVERGREEN TREE PLANTING/DRAINAGE DETAIL OR DECIDUOUS TREES PLANTING/STAKING DETAIL WHERE APPLICABLE.
11. ALL PLANTING BEDS TO BE TREATED WITH PRE-EMERGENT HERBICIDE. OWNER/CONTRACTOR SHALL INSURE THAT PROPOSED PLANT MATERIAL IS RESISTANT TO THE HERBICIDE PROPERTIES AND IN ACCORDANCE WITH SOUND HORTICULTURAL PRACTICES.
12. OWNER/CONTRACTOR MUST INSTALL AND UNDERGROUND IRRIGATION SYSTEM.

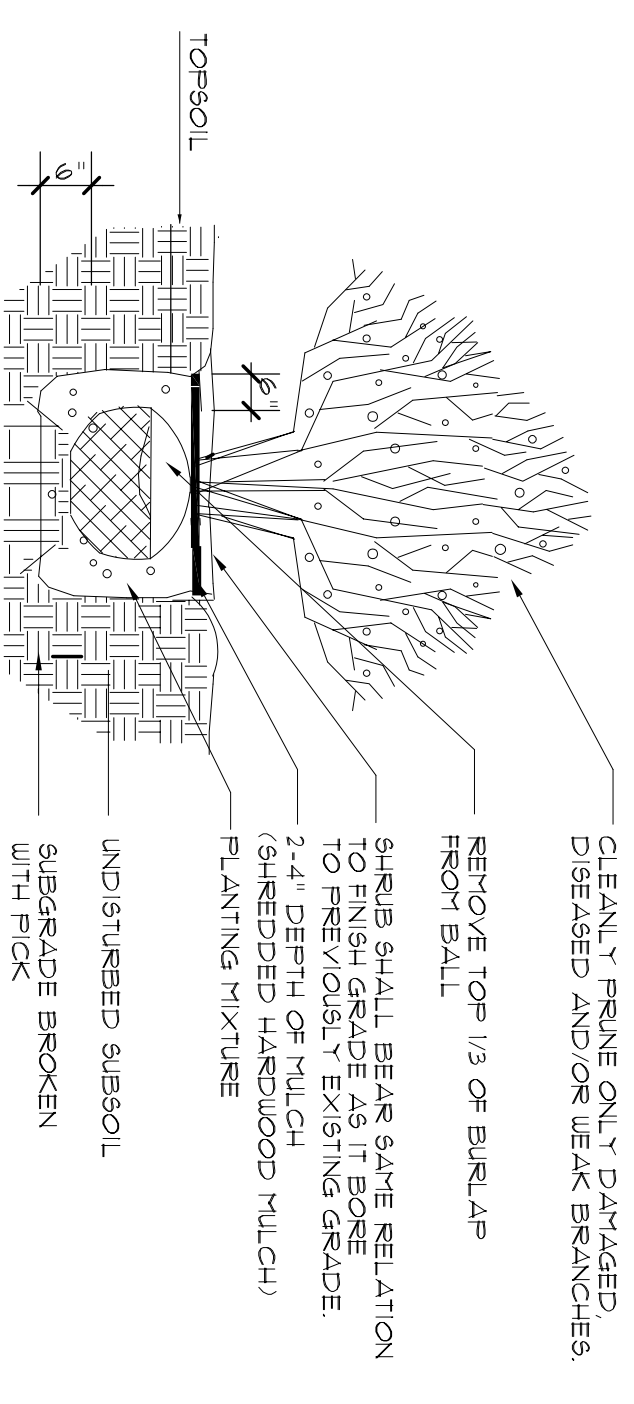
**PLANT MATERIAL LIST**

PLANT #	QUANT.	BOTANICAL NAME	COMMON NAME	SIZE
1	6	ACER RUBRUM	RED MAPLE	2" CAL. B&B
2	13	EUONYMUS ALATUS COMPACTA	DIAPER BURNING BUSH	2" HIGH - 2 1/2" W. B&B

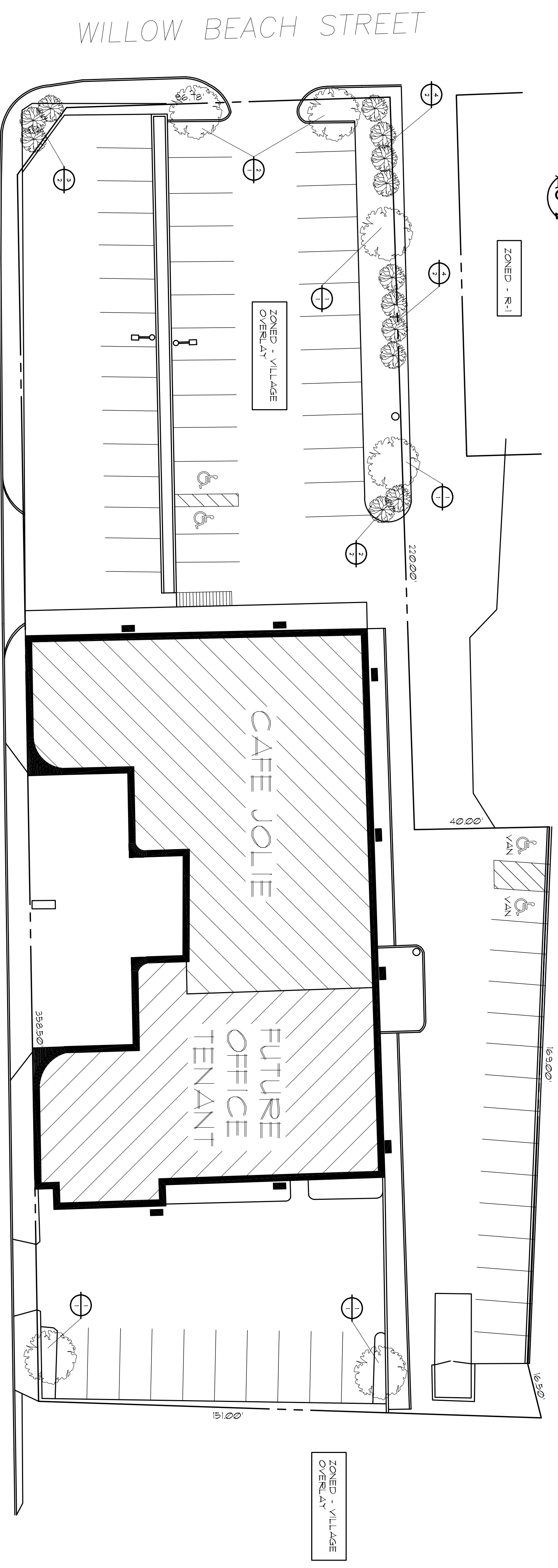
⊗ = # OF PLANTS  
PLANT NO.



**1 DECIDUOUS TREE PLANTING DETAIL**  
AS-2 NO SCALE

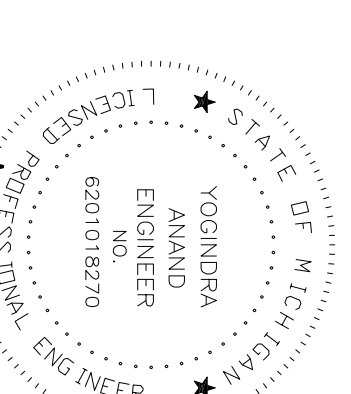


**2 SHRUB PLANTING DETAIL**  
AS-2 NO SCALE



**LANDSCAPE PLAN**  
SCALE: 1" = 20'  
NORTH

THIS SITE PLAN WAS CREATED USING SATELLITE CHANGES AND RELATIONSHIPS BETWEEN PLANNING APPROPRIATE AND ARE NOT TO BE USED FOR ANYTHING OTHER THAN PRELIMINARY PURPOSES. ZA DESIGN BUILD SHALL BE HELD HARMLESS FOR ANY ERRORS OR OMISSIONS CONTAINED IN THIS DOCUMENT.



*Y. Arand*

**PROJECT:**  
 PROPOSED  
 CAFE JOLIE AND  
 FUTURE OFFICE  
 3080 ORCHARD  
 LAKE ROAD  
 KEEGO HARBOR,  
 MICHIGAN 48320

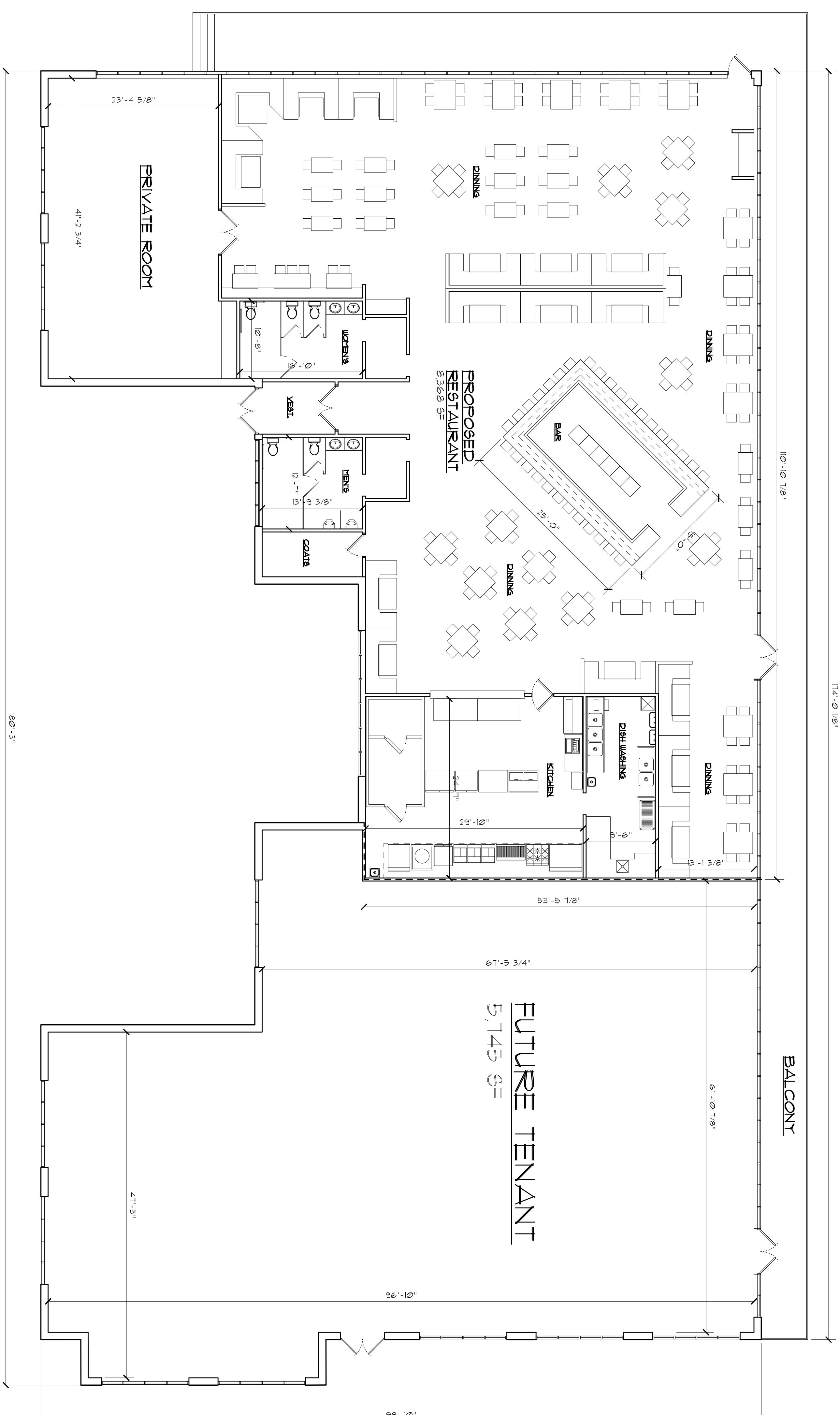
**ISSUED FOR:**  
 SPA  
 02-03-2026

**DO NOT SCALE PRINTS.**  
 USE FIGURED  
 DIMENSIONS ONLY

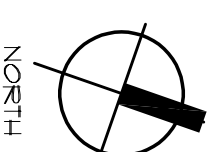
**JOB NO.**  
 25-100

**SHEET NO.**

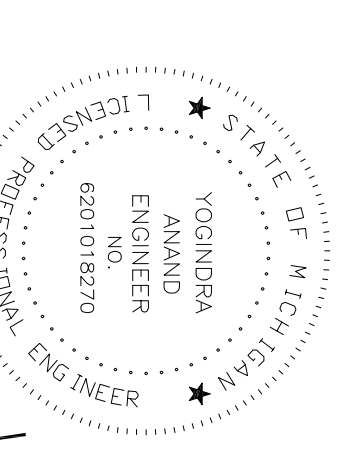
# AS.3



**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



801 SOUTH ADAMS ROAD  
SUITE 212  
BIRMINGHAM,  
MICHIGAN 48009  
OFFICE: 248-767-5928



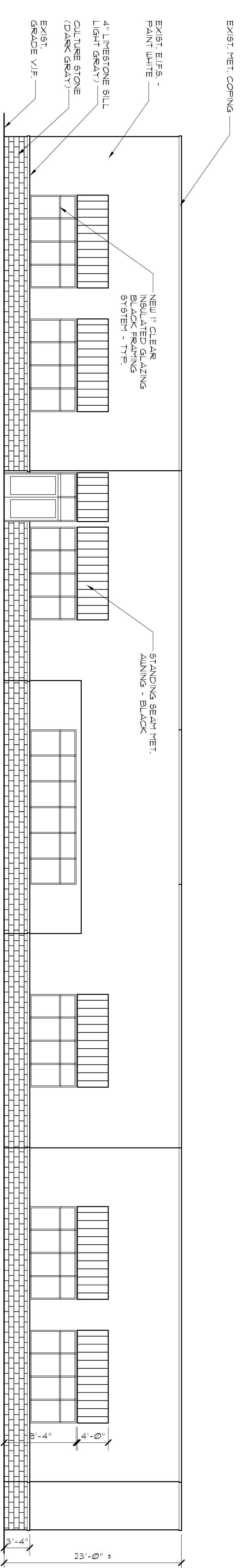
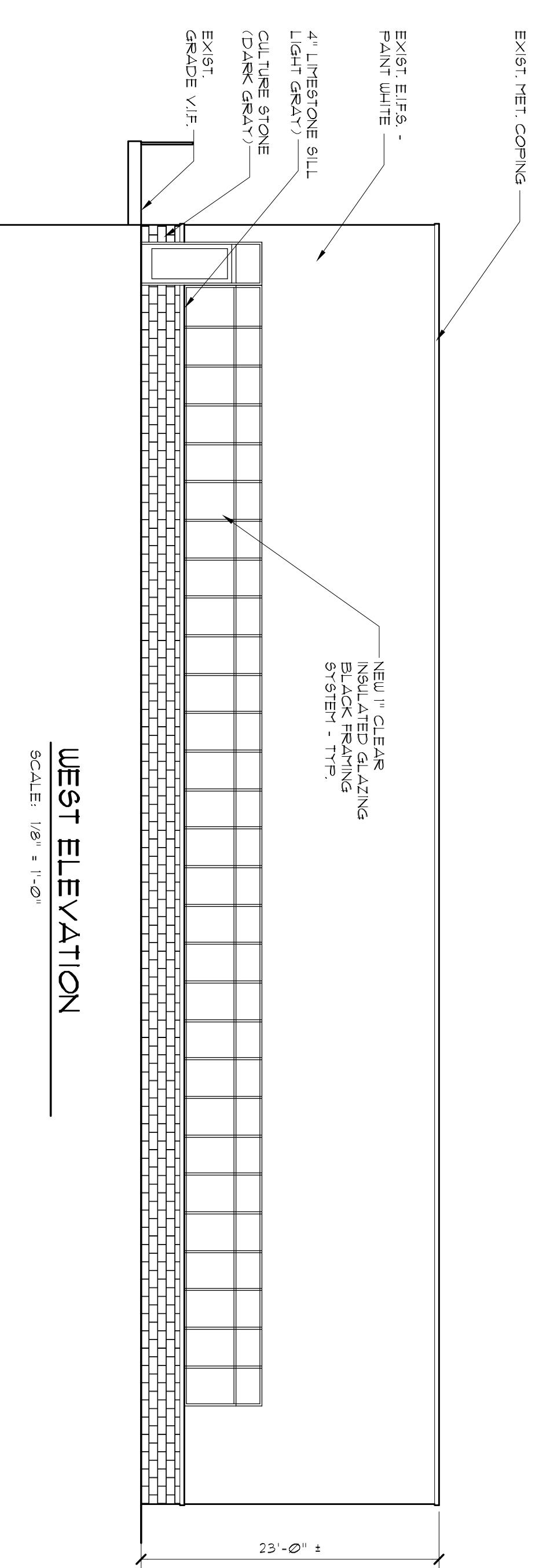
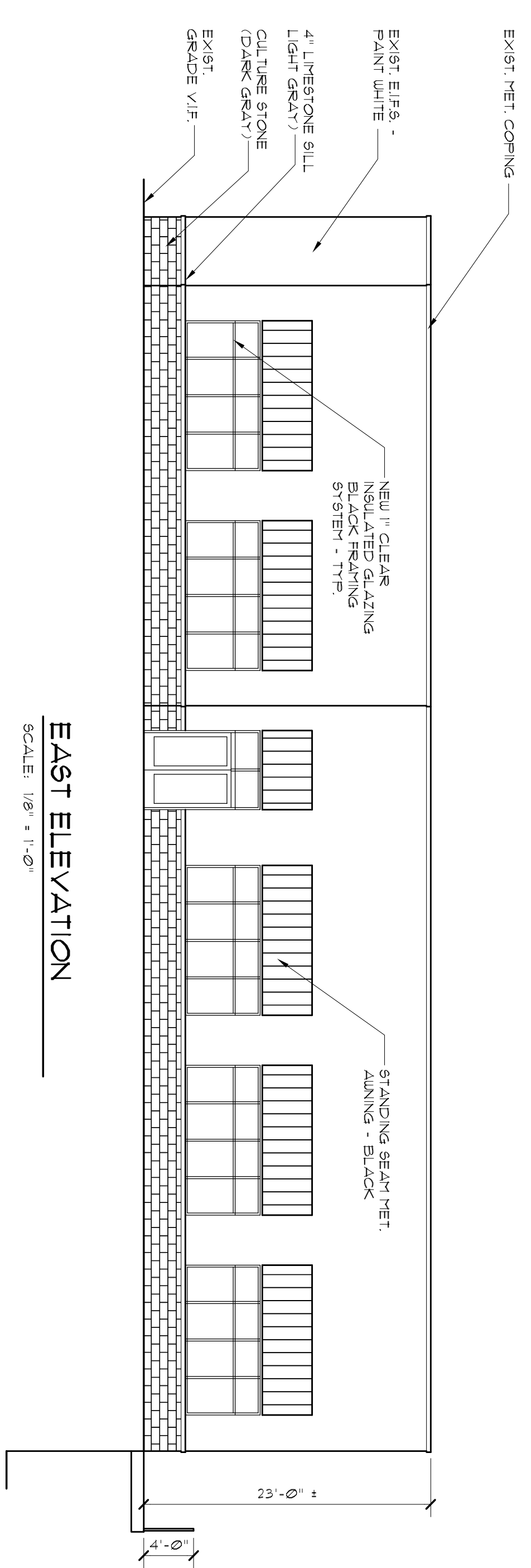
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PROPOSED  
CAFE JOLIE AND  
FUTURE OFFICE  
3080 ORCHARD  
LAKE ROAD  
KEEGO HARBOR,  
MICHIGAN 48320

**ISSUED FOR:**  
SPA  
02-03-2026

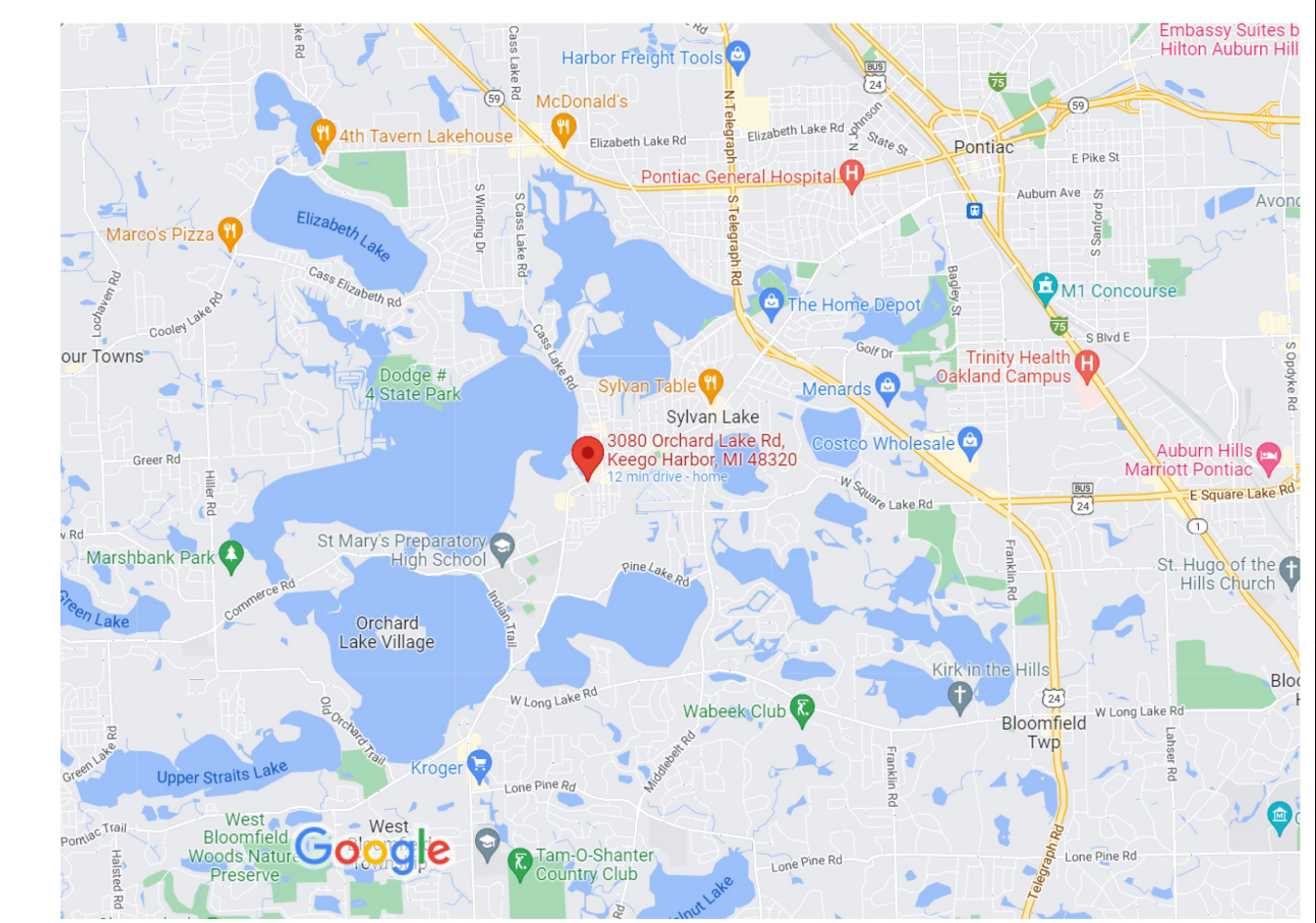
**DO NOT SCALE PRINTS.**  
USE FIGURED  
DIMENSIONS ONLY

**JOB NO.**  
**25-100**  
**SHEET NO.**

# AS.4



location map



Map data ©2022 1 mi

exception notes

- per First American Title Insurance Company Commitment No. VT449689, dated 10/30/2025 revised 11/07/2025:
- Building and use restrictions as contained in the instrument recorded in Liber 632, Page 212; Liber 330, Page 409, Oakland County Records. **THESE REFER TO USE ONLY AND ARE NOT PLOTTABLE**
  - Easements, Setback Lines, IF ANY, as shown on recorded plat. **NONE SHOWN ON THE FACE OF THE PLAT.**
  - All improvements are shown on the face of this survey.

legal description

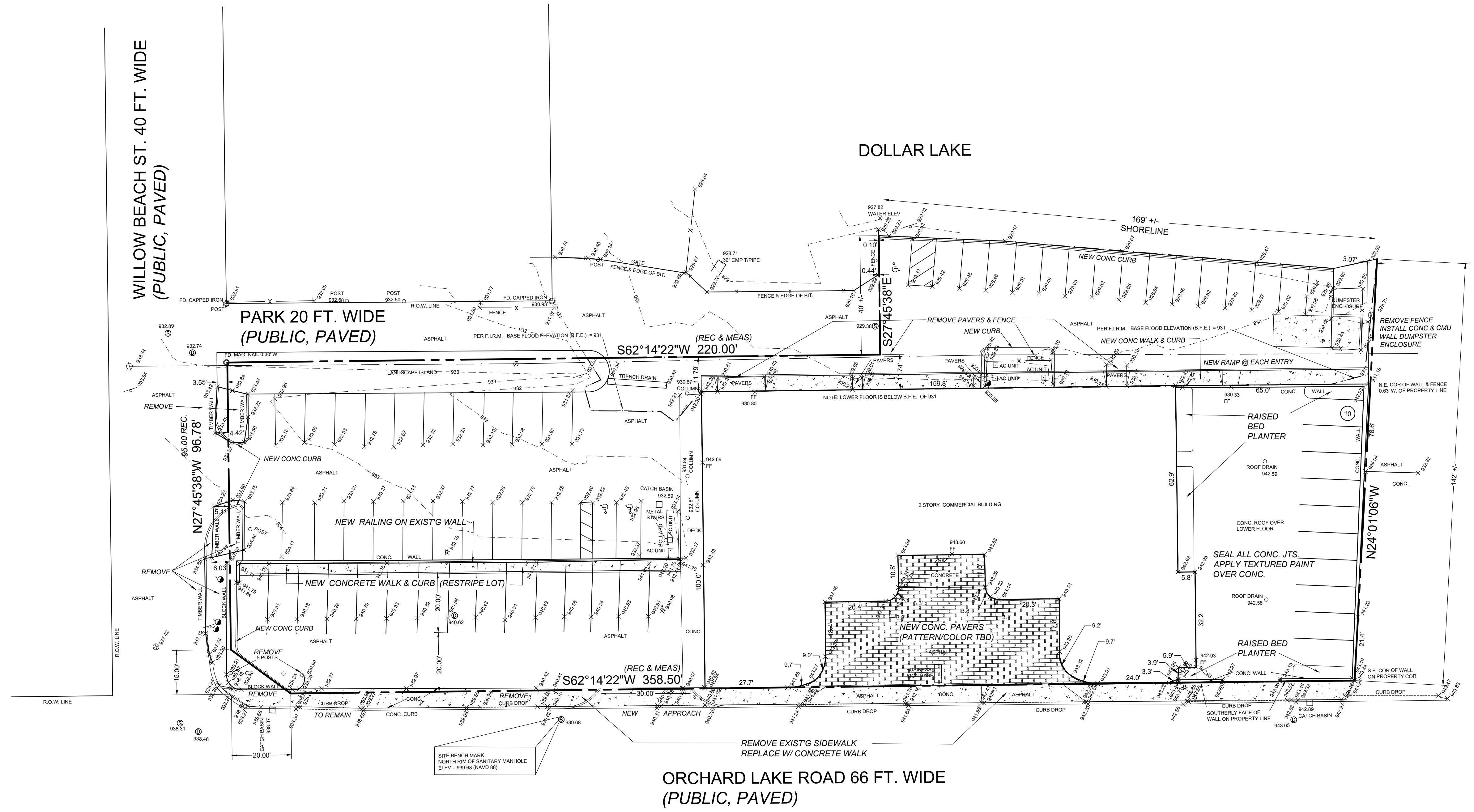
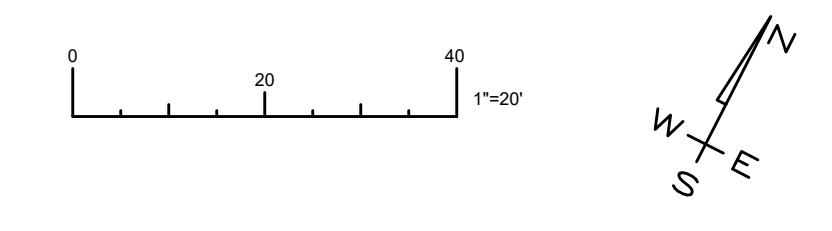
Land situated in the City of Keego Harbor, County of Oakland, State of Michigan, more particularly described as:  
 Lot 153, except beginning at the Southwest corner of Lot 153; thence North 24 degrees 17 minutes 00 seconds West 15 feet; thence Southeastly to a point distant North 65 degrees 43 minutes 00 seconds East 20 feet from beginning; thence South 65 degrees 43 minutes 00 seconds West 20 feet to beginning. Also Lots 154 through 162, inclusive of "SAWYER'S KEEGO HARBOR SUBDIVISION", according to the plat thereof recorded in Liber 18, Page(s) 27 of Plats, Oakland County Records.  
 Tax Parcel ID: 18-02-435-051

areas

Site: 48,696 ± sq. ft. = 1.1 acres, more or less  
 Square footage of exterior building perimeter at ground level: 19,412 sq. ft. (including lower level)

flood zone classification

a portion of the subject site is designated as having flood zone classification of "Zone AE", per FIRM, Map No. 26125C0501F, effective 09/29/06.



- LEGEND**
- X 0.00 EXISTING SPOT ELEVATION
  - SIGN
  - ⊙ STORM SEWER MANHOLE
  - CATCH BASIN
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ FIRE HYDRANT
  - ⊙ WATER SHUTOFF
  - ⊙ GATE VALVE & WELL
  - ⊙ LIGHT POLE
  - ⊙ UTILITY POLE
  - BOLLARD
  - OVERHEAD WIRE(S)

**BARBAT  
HOLDINGS**

**BARBAT**



# CAFÉ LOREN



The background of the entire page is a dark blue color with a white topographic map pattern. The map features various contour lines of different thicknesses, creating a sense of depth and terrain. The lines are more densely packed in some areas and more spread out in others, typical of a topographic map.

# City of Keego Harbor, MI

Master Plan Update 2025

Draft · February 23, 2026

# Acknowledgements

## City Council

Joel Ross . . . . . Mayor  
Robert Kalman . . . . . Mayor Pro-Tem  
John Fletcher . . . . . Council Member  
Ronnie Dahl . . . . . Council Member  
Cristina Elsen . . . . . Council Member  
Theresa Shimansky . . . . . Council Member (through November 2025)

## Planning Commission

Joel Yoder . . . . . Chairperson  
Corine Streng . . . . . Vice Chairperson  
Gino Santia . . . . . Secretary  
Kevin Douglass . . . . . Commissioner  
David Emerling . . . . . Commissioner  
Karen Meabrod . . . . . Commissioner  
Cristina Elsen . . . . . City Council Liaison  
Theresa Shimansky . . . . . City Council Liaison (through November 2025)

## City Administration

Tammy Neeb . . . . . City Manager and City Clerk  
Stacy Goodall . . . . . Deputy City Clerk  
Wendy Clufetos . . . . . Building Department Clerk

# Master Plan Update 2025

**DRAFT—February 23, 2026**

Adopted by the Keego Harbor City Council on MONTH DAY, YEAR

Prepared by



235 E. Main Street, Suite 105  
Northville, MI 48167  
[mcka.com](http://mcka.com)



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# Executive Summary

The City of Keego Harbor is embarking on an exciting new chapter with the development of its updated Master Plan, a roadmap designed to guide the community's growth and development over the coming decades. As Keego Harbor evolves, the Master Plan will serve as a blueprint for making thoughtful, strategic decisions about land use, housing, transportation, and economic development. This plan is driven by a commitment to creating a vibrant, resilient, and inclusive community, that celebrates Keego Harbor's unique assets and supports the needs of all residents.

Throughout the engagement process, stakeholders expressed that Keego Harbor has a unique mix of access to natural resources, high-quality housing, and ample opportunity for commercial development, making Keego Harbor an exciting place to live. However, there is still room for improvements. Stakeholders noted concerns about commercial vacancy, the lack of public access to the waterfront, and ensuring that housing opportunities are available for households of all types and sizes. There is a desire for robust redevelopment, increased community gathering space, and a more diverse mixture of housing types.

This Plan lays the foundation to realize these desires in the following chapters:

## Housing and Neighborhoods

Supporting housing opportunities for all income levels and household types that are sensitive to Keego Harbor's existing small lot sizes, floodplain areas, and narrow streets. Connecting existing residents with opportunities to repair and improve their homes.

## Economic Development

Ensure development standards that ease the reoccupancy process while developing a strong business mix and promoting improvements for aging existing commercial buildings. Encourage the redevelopment of vacant and underutilized commercial properties in the City.

## Transportation and Mobility

Improve walkability in Keego Harbor's commercial corridors. Develop a transportation system that promotes safety for both non-motorized and motorized transportation users.

## Public Infrastructure, Facilities, and Services

Maintain the City's park network as an asset for all Keego Harbor neighborhoods. Offer recreational opportunities that are inclusive of the needs of all residents. Continue to offer high-quality police and public works.

## Natural Resources and Environment

Increase public access to the waterfront. Encourage green infrastructure interventions that provide natural solutions to flooding issues in the City, especially along the Dollar Lake Canal. Enhance the City's ability to withstand the impacts of climate change.



# 01

## Introduction

## About the Plan

Per the Michigan Planning Enabling Act (MPEA), a Master Plan must address land use and infrastructure issues, and all planning related elements that may be pertinent for the development of that community. In 2024, the MPEA was amended to require that local Master Plans also include a housing element. Such review, analysis, and projections may extend 10–20 years or more into the future. The Act requires that all zoning ordinances are based on a plan; the Master Plan therefore serves as the basis for zoning regulations to ensure that land use reflects the needs and priorities of the current and future population in Keego Harbor. In this way, the Master Plan offers guidance and promotes certainty and coordination among City leaders, residents, developers looking to make public investments in projects, programs, and policies that inform Keego Harbor’s future. To support the process of updating the Master Plan to plan for the housing, transportation, and economic development needs of the City moving forward, Keego Harbor received a \$50,000 grant through the Michigan State Housing Development Authority’s Housing Readiness Incentive Grant Program.

## A User’s Guide

A Master Plan is used as a guide to address land use decisions in Keego Harbor. The following matrix lists the major instances in which the plan should be used to guide these important decisions.

**Table 1.1** Using Your Master Plan

WHEN TO USE THE MASTER PLAN	HOW TO USE THE MASTER PLAN				
	Data Reference	Setting Budget Priorities	Evaluating Land Uses	As Design Guidelines	Defense of Zoning Decisions
<b>Rezoning</b>	<ul style="list-style-type: none"> <li>• Check proposed use for compatibility with existing land uses around site.</li> <li>• Check classification of roads serving site</li> <li>• Check goals, objectives and actions related to site or area e.g. downtown.</li> <li>• Are community facilities serving the site adequate?</li> </ul>		Is the proposed use consistent with future use of site and area on future land use map?		Does data, future land use map and goals, objectives and actions support zoning of site?
<b>Zoning Ordinance Text Amendment</b>			What implications does the amendment have on future land use and goals, objectives and actions?		Does data, future land use map and goals, objectives and actions support zoning text change? (e.g. required site improvements or standards.)

HOW TO USE THE MASTER PLAN					
WHEN TO USE THE MASTER PLAN	Data Reference	Setting Budget Priorities	Evaluating Land Uses	As Design Guidelines	Defense of Zoning Decisions
<b>Special Land Use and Site Plan Review</b>	<ul style="list-style-type: none"> <li>Does data in plan support the need for the use?</li> <li>Is proposed use compatible with surrounding existing uses?</li> </ul>		Is the use appropriate for the area based on goals, objectives and actions in the plan?	Check standards for the proposed use or surrounding area, e.g. paths, landscaping, corridor improvements that should be conditions of approval.	Does data, future land use map and goals, objectives and actions support conditions of special approval or site plan approval?
<b>Capital Improvement Program</b>	<ul style="list-style-type: none"> <li>Check inventory of public facilities and demographic data for support of proposed projects.</li> </ul>	Are projects, expenditures, and priorities supported by goals, objectives and actions, or discussed elsewhere in plan?			
<b>Special Programs: Economic Development; Parks, Trails, and Gateway Improvements; Etc.</b>	<ul style="list-style-type: none"> <li>Check inventory of public facilities.</li> <li>Use demographic data.</li> <li>Use economic data.</li> <li>Check description of funding sources.</li> </ul>		Are proposed improvements consistent with priorities in goals, objectives and actions?	Does project design/location conform to this Master Plan and other relevant adopted plans?	
<b>Preparing Grant Applications</b>	<ul style="list-style-type: none"> <li>Use data and other descriptive information in preparing support documentation for grant request.</li> </ul>	Are projects, expenditures, and priorities supported by goals, objectives and actions, or discussed elsewhere in plan?			

## Context and Location

### History

Keego Harbor is on land located along the many shoreline trails where Native Americans, attracted to the natural beauty and bountiful lakes, enjoyed hunting and fishing. The first non-native residents came to the area around 1825–1830. These brave settlers, along with their families, were farmers, tradesmen, fishermen, domestic workers, and merchants. Prominent people from Pontiac also bought up large parcels of land along Cass Lake to farm and use for vacation homes.

In the 1890s the Detroit Urban Railway built a trolley line that ran from the City of Detroit to Pontiac, then to Farmington—all by way of the cities of Sylvan Lake and Keego Harbor. With a trolley stop located within the community, opportunities opened for Keego Harbor—allowed local merchants to provide transportation of goods and services, brought vacationers to enjoy the lakes, and helped grow the community from summer cottages to permanent homes. The trolley operated for many years, with Keego Harbor benefiting from its newfound accessibility, local commercial businesses and the residential community began to proliferate. Joseph E. Sawyer, a Pontiac lawyer and real estate tycoon, had his eye on the area for residential development as early as 1899. He bought and platted property on both sides of Orchard Lake and, by 1912, had dredged a canal from Dollar Lake to Cass Lake and declared that Dollar Lake was the harbor. Sawyer used the word “keego”, (meaning “fish” in Ojibwa) from the Longfellow Poem, Song of Hiawatha, and named the area, Keego Harbor.

In 1914, Keego Harbor’s first school was built, with Sawyer donating the land and the new school board funding the building. Then in 1926, the first Fire Department was organized. Those early years saw Keego Harbor grow in population and commerce.

Before the community now known as Keego Harbor became a city, it was part of West Bloomfield Township. On March 25, 1955, a Charter was approved by Governor G. Mennen Williams, which established Keego Harbor as a city governed by a five-member council (City Council) and removed it from the jurisdiction of West Bloomfield Township.

To guide and efficiently promote growth and responsible land use development within the City, on February 21, 1961, the City Council formally established the Planning Commission with that as their primary objective.



Photo Source: Greater West Bloomfield Historical Society



Photo Source: Greater West Bloomfield Historical Society

**Figure 1.1** Orchard Lake Road looking east, date unknown. A car bridge over the canal from Cass Lake to Dollar Lake, circa 1920 to 1930.

## Local Government

As discussed in the previous section, the City of Keego Harbor drafted its own City Charter after authorization from the City's electors to remove itself from the jurisdiction of West Bloomfield Township. The Charter was approved by Governor G. Mennen Williams, on March 25, 1955.

The Charter provides for the creation of a local governing body consisting of five members known as the Council. Council members are elected by the residents of the City for a term of three years, and annually, the Council selects two of its members, one to serve as the City's Mayor and one its Mayor Pro-Tem.

The Council is the legislative body responsible for overseeing the welfare of the City and its residents. Powers conferred upon the Council include the adoption of codes and ordinances; control and regulation of the use of streets and alleys; issuance of bonds to finance City improvements; maintenance of the park and recreation system; procurement of municipal water and sewer services; and the provision of police and fire protection. The Council also confirms citizen volunteers to a number of boards and commissions.

As per the City Charter, the City Council appoints the members of the City Planning Commission. Amongst their other duties, the Planning Commission acts upon problems affecting the growth and development of the community and effectuates the implementation of a Master Land Use Plan for the City once it is adopted. The citizens of Keego Harbor remain actively engaged in the planning and governing process of the City and step up to serve on this important commission



Photo Source: Greater West Bloomfield Historical Society

**Figure 1.2** Keego Harbor Firemen, date unknown.

## Overview: The Planning and Public Engagement Process

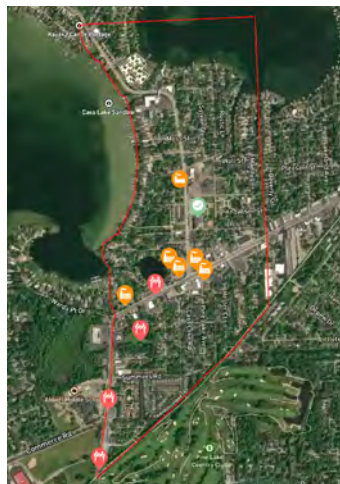
A strong Master Plan requires a comprehensive planning and public engagement process to ensure the Plan reflects the community’s strengths, accurately captures its challenges, and creates a collective vision for the future. The Keego Harbor Master Plan involved a community engagement process that worked to engage all residents, business owners, and other stakeholders. Community engagement results relating to Housing and Neighborhoods, Economic Development, and other planning topics are included in their respective chapters.



### Community Workshop

On April 29, 2025, McKenna facilitated an open-house style public engagement visioning session at the Santia Banquet Center. For this event, poster boards were placed throughout the hall for attendees to interact with and contribute to. McKenna consultants were posted throughout the room, providing context and answering any questions from the attendees. As attendees reviewed the boards, they were encouraged to provide their feedback on sticky notes and discuss their thoughts. This community engagement event allowed residents and stakeholders to share ideas and collaborate on the future of Keego Harbor.

The information gathered from this event helped identify priority redevelopment locations, preferred housing types, and streetscape improvements desired by residents. These takeaways are provided throughout the Plan to validate the planning strategies recommended by this Plan.



**Figure 1.3** The online comment map provided an opportunity to call out specific locations that contributed to the current community character and highlight potential redevelopment sites.

### Community Survey

Between March 2025 and May 2025, the Keego Harbor Master Plan Community Survey was available for people to provide their feedback, ideas, and comments on housing, economic development, transportation, and other planning considerations for Keego Harbor. The survey was available digitally with hard copies available at City Hall. Additionally, McKenna hosted an online comment map where people could identify specific locations in the City that are assets, have challenges, or represent a redevelopment opportunity.

In total, the City received 109 survey responses. The City also received 12 comments on the comment map from five different contributors. The responses gathered from this survey and comment map directly informed the vision, goals, and objectives in this Plan.

# Vision for Keego Harbor in 2050

Throughout the Master Plan process, residents, business owners, City staff, and other stakeholders highlighted Keego Harbor's lake access, quiet neighborhoods, and tight-knit community feel as important characteristics of life in Keego Harbor that should be protected and promoted through the Master Plan. Understanding this, Keego Harbor developed the following vision statement to guide this Master Plan:

*“The City of Keego Harbor will continue to evolve as a compact collection of neighborhoods with a balance of residential, office, commercial, and public uses. The City will enhance its unique identity as a lakeside community with historic neighborhoods and ample recreational amenities by promoting development that emphasizes community connection through pedestrian-friendly roads and crossings, well-maintained sidewalks and paths, and beautified, environmentally sensitive streetscapes that provide space for motorized and non-motorized transportation.”*

## Postcards from the Future

At the Community Workshop, attendees were asked to write a “postcard to the future”, describing a Vision for Keego Harbor in 2050. Below includes select “postcards” that contributed to the development of Keego Harbor’s vision for 2050.



02

# Keego Harbor Today

Creating a strong vision for the future of Keego Harbor requires knowledge of past and current data and trends. The following chapter outlines demographic and current land use trends in Keego Harbor, identifying existing planning concerns that add context to the vision, goals, objectives, and strategies outlined in this Master Plan.

## Community Profile

### Introduction

Demographics analysis provides important insights into the past and present makeup of Keego Harbor residents, and who is expected to live in Keego Harbor in the future. The data is important, as different demographic groups have different planning needs. For example, young families may require different types of housing, transportation, and services than retirees. Understanding the demographics of the community will allow Keego Harbor to identify planning strategies to support the needs of all residents.

### Population Trends and Projections

Examining past and future projected populations can help a city determine if their existing infrastructure is adequate to support current and future residents. [Table 2.1](#) shows how population has changed in Keego Harbor and surrounding communities between 1990 and 2023 and projects the expected population in 2050.

**Table 2.1** Population and Projections, City of Keego Harbor and Surrounding Communities, 1990–2050

MUNICIPALITY	1990	2000	2010	2020	2023	PROJECTED 2050	PROJECTED CHANGE 2023–2050	
							Number	Percent
City of Keego Harbor	2,932	2,769	2,970	2,764	2,747	2,940	193	7.03%
City of Orchard Lake Village	2,286	2,215	2,375	2,238	2,298	2,287	-11	-0.48%
City of Sylvan Lake	1,884	1,735	1,720	1,723	1,672	1,829	157	9.39%
City of Pontiac	71,166	66,337	59,515	61,606	61,914	65,595	3,681	5.95%
City of Bloomfield Hills	4,288	3,940	3,869	4,460	4,412	4,802	390	8.84%
Waterford Township	66,692	73,150	71,707	70,565	69,394	74,588	5,194	7.48%
West Bloomfield Township	54,516	64,860	64,690	65,888	65,123	68,402	3,279	5.04%
Commerce Township	26,955	34,764	40,186	43,058	43,378	43,454	76	0.18%

Source: US Decennial Census, 1990, 2000, 2010, 2020; US Census American Community Survey 2023 5-year Estimates; SEMCOG Community Profile 2050 Projections

The City of Keego Harbor has remained relatively steady between 1990 and 2023, with some fluctuations in population growth and decline approaching 10% of the population. By 2050, Keego Harbor is expecting to see population growth of over 7% from 2023, approaching the City’s population in 2010. Considering projected population is expected to be slightly less than the City’s population in 2010, Keego Harbor likely has the utility and public service capacity to accommodate this population. However, further analysis may need to be done to determine if existing housing and commercial development are sufficient to meet the needs of a growing population.

## Age

Knowing how the age of Keego Harbor’s population is changing provides several takeaways for planning in the City, including the types of housing, transportation, and public services residents may demand over the next 20 years. [Table 2.2](#) shows the age of Keego Harbor’s population in 2018 and 2023.

**Table 2.2** Age of Population, City of Keego Harbor, 2023

AGE	2018	2023	CHANGE 2018–2023	
			Number	Percent
Under 5 years	213	181	–32	–15.0%
5 to 9 years	126	180	54	42.9%
10 to 14 years	130	166	36	27.7%
15 to 19 years	87	86	–1	–1.1%
20 to 24 years	178	214	36	20.2%
25 to 29 years	320	221	–99	–30.9%
30 to 34 years	287	127	–160	–55.7%
35 to 39 years	344	129	–215	–62.5%
40 to 44 years	239	250	11	4.6%
45 to 49 years	196	104	–92	–46.9%
50 to 54 years	180	166	–14	–7.8%
55 to 59 years	239	174	–65	–27.2%
60 to 64 years	265	307	42	15.8%
65 to 69 years	148	178	30	20.3%
70 to 74 years	43	42	–1	–2.3%
75 to 79 years	68	67	–1	–1.5%
80 to 84 years	69	121	52	75.4%
85 years and over	64	34	–30	–46.9%
Median age (years)	37.2	41.4	3.9	—

Source: US Census American Community Survey 2018, 2023 5-year Estimates

In the past five years, Keego Harbor has experienced demographic shifts that indicate an aging population. Keego Harbor is losing population age 25 to 39, which represents the age bracket that is most likely to begin starting a family. Attracting those in their family-forming years can help the City maintain its population over the long term as elderly residents pass away.

Meanwhile, the population of school-age children aged 5 to 14 and seniors between 60 and 69 years old and 80 to 84 years old has grown. For housing, this may indicate that the City should identify aging-in-place strategies, like providing or referring seniors to assistance to make accessibility upgrades to their homes, that support an aging population. To support Keego Harbor’s growing school age population, Keego Harbor could support regulatory or procedural incentives to promote better access to childcare, such as relaxing zoning and local licensing requirements for childcare facilities. These policies may also attract more people in their family-forming years by improving access to childcare.

## Race

Understanding race and ethnicity demographics will continue to allow Keego Harbor to better plan to address disparities in access to resources and opportunities among different racial and ethnic groups and promote inclusive decision-making processes and policies. Understanding the unique needs and challenges faced by various racial groups enables tailored strategies to effectively address them, fostering diversity, inclusion, and community cohesion. [Table 2.3](#) provides racial composition data for Keego Harbor in 2023.

**Table 2.3** Racial Composition in Keego Harbor, 2023

	CITY OF KEEGO HARBOR		OAKLAND COUNTY	
	Number	Percent	Number	Percent
<b>One Race</b>	2,520	91.7%	1,189,113	93.5%
White	2,252	82.0%	897,702	70.6%
Black or African American	189	6.9%	165,635	13.0%
American Indian and Alaska Native	0	0.0%	1,932	0.2%
Asian	48	1.7%	104,287	8.2%
Native Hawaiian and Other Pacific Islander	0	0.0%	420	0.0%
Some Other Race	31	1.1%	19,137	1.5%
<b>Two or More Races</b>	227	8.3%	83,181	6.5%

Source: US Census American Community Survey, 2023 5-year Estimates

Keego Harbor is less racially diverse than Oakland County as a whole. 82.0% of residents are white, 6.9% of residents are Black or African American, and 8.3% of residents are two or more races.

## Education & Earnings

Education and earnings provide important information for the City as they set goals and aspirations for the City. This data can help the City determine the types of housing that may be in greatest demand, the types of services residents may be looking for, and the level of transportation services they may require, among other needs. [Table 2.4](#) shows annual household incomes for Keego Harbor in 2023.

**Table 2.4** Annual Household Income, City of Keego Harbor, 2023

HOUSEHOLD INCOME	NUMBER OF HOUSEHOLDS	PERCENT
Less than \$10,000	62	4.8%
\$10,000 to \$14,999	38	2.9%
\$15,000 to \$24,999	92	7.1%
\$25,000 to \$34,999	132	10.2%
\$35,000 to \$49,999	122	9.4%
\$50,000 to \$74,999	276	21.2%
\$75,000 to \$99,999	213	16.4%
\$100,000 to \$149,999	184	14.2%
\$150,000 to \$199,999	42	3.2%
\$200,000 or more	139	10.7%
Median household income	\$70,185	—

Source: US Census American Community Survey 2018, 2023 5-year Estimates

Keego Harbor has a diversity of income levels among its residents. The largest proportion of households make between \$50,000 and \$74,999 (21.2%). Another 16.4% of households make between \$75,000 and \$99,999 annually. 25% of Keego Harbor households make less than \$35,000 per year. The diversity of income levels corresponded to a median household income of \$70,185. This is over \$25,000 less than the median household income of the entirety of Oakland County of \$95,296. This data suggests that Keego Harbor should pursue opportunities for housing, transportation, and recreation accessible for all income levels. Prices of existing housing stock should be compared to these income levels to ensure that there are attainable housing options available for all income levels.

**Table 2.5** Changes in Median Household and Per Capita Income, City of Keego Harbor, 2010–2023

INCOME (IN 2023 DOLLARS)	2010	2023	CHANGE 2010–2023	PERCENT CHANGE 2010–2023
Median Household Income	\$70,090	\$70,185	\$95	0.1%
Per Capita Income	\$38,194	\$41,854	\$3,660	9.6%

Source: US Census American Community Survey, 2010 and 2023 5-year Estimates

Median household income has remained relatively stable between 2010 and 2023. However, per capita income, or per-person income, has increased by 9.6% over the same period. This could be the result of decreasing household sizes. While individual workers are making more money today than they did in 2010, fewer household members may mean that the median household income did not increase. Data on household size changes in Keego Harbor are analyzed in [Chapter 4](#).

In addition to annual median and per capita household incomes themselves, the educational attainment within a community is a strong economic indicator, as higher education can increase the number and types of jobs available to residents. [Table 2.6](#) shows the educational attainment of those aged 25 years and over in Keego Harbor.

**Table 2.6** Educational Attainment, City of Keego Harbor, 2023

	NUMBER	PERCENT
<b>Population 25 years and over</b>	1,920	100%
<b>Less than 9th grade</b>	32	1.7%
<b>9th to 12th grade, no diploma</b>	21	1.1%
<b>High school graduate (includes equivalency)</b>	372	19.4%
<b>Some college, no degree</b>	456	23.8%
<b>Associate's degree</b>	229	11.9%
<b>Bachelor's degree</b>	555	28.9%
<b>Graduate or professional degree</b>	255	13.3%
<b>High school graduate or higher</b>	1,867	97.2%
<b>Bachelor's degree or higher</b>	810	42.2%

Source: US Census American Community Survey, 2023 5-year Estimates

Keego Harbor experiences high educational attainment. 28.9% of the population has obtained a bachelor's degree, slightly higher than the rate for Oakland County of 28.4%. 97.2% of Keego Harbor residents are high school graduates or higher. This level of educational attainment can open up higher-paying jobs and other economic opportunities for Keego Harbor residents.

## Summary

Based on this demographic analysis, the City can identify the following key takeaways:

- Keego Harbor has experienced some population decline between 1990 and 2023. However, SEMCOG projects that Keego Harbor's population will return to its 1990 count by 2050. Maintaining existing infrastructure and public services as Keego Harbor returns to previous population levels can help support new Keego Harbor residents.
- Keego Harbor's population is aging. The median age has increased by 3.9 years of age over the past five years. As a result, Keego Harbor may want to invest in strategies to support aging-in-place.
- Keego Harbor has diverse income levels within the City. As a result, attainable housing for all income levels, improved transportation access, and connecting residents to economic development and employment services are strong goals for the City to pursue.



## Existing Conditions: Land Use

Existing land use describes how a piece of land is currently being used. This differs from its zoning classification—while a piece of land may be zoned for commercial use, the existing land use may not currently fit its zoning classification. Existing land use was determined by combining community knowledge with an analysis of recent aerial photographs to develop a comprehensive map showing how land use being used. [Map 2.1](#) shows the existing land use in Keego Harbor.



**Waterford Township**

# Existing Land Use

City of Keego Harbor, Michigan

DRAFT February 4, 2026

## LEGEND

-  Single-Unit Residential
-  Multiple-Unit Residential
-  Mobile Home Park
-  Commercial
-  Parks and Open Space
-  Public / Civic Institutions
-  Parking
-  Vacant
-  Road / Utility Easements

Cass Lake

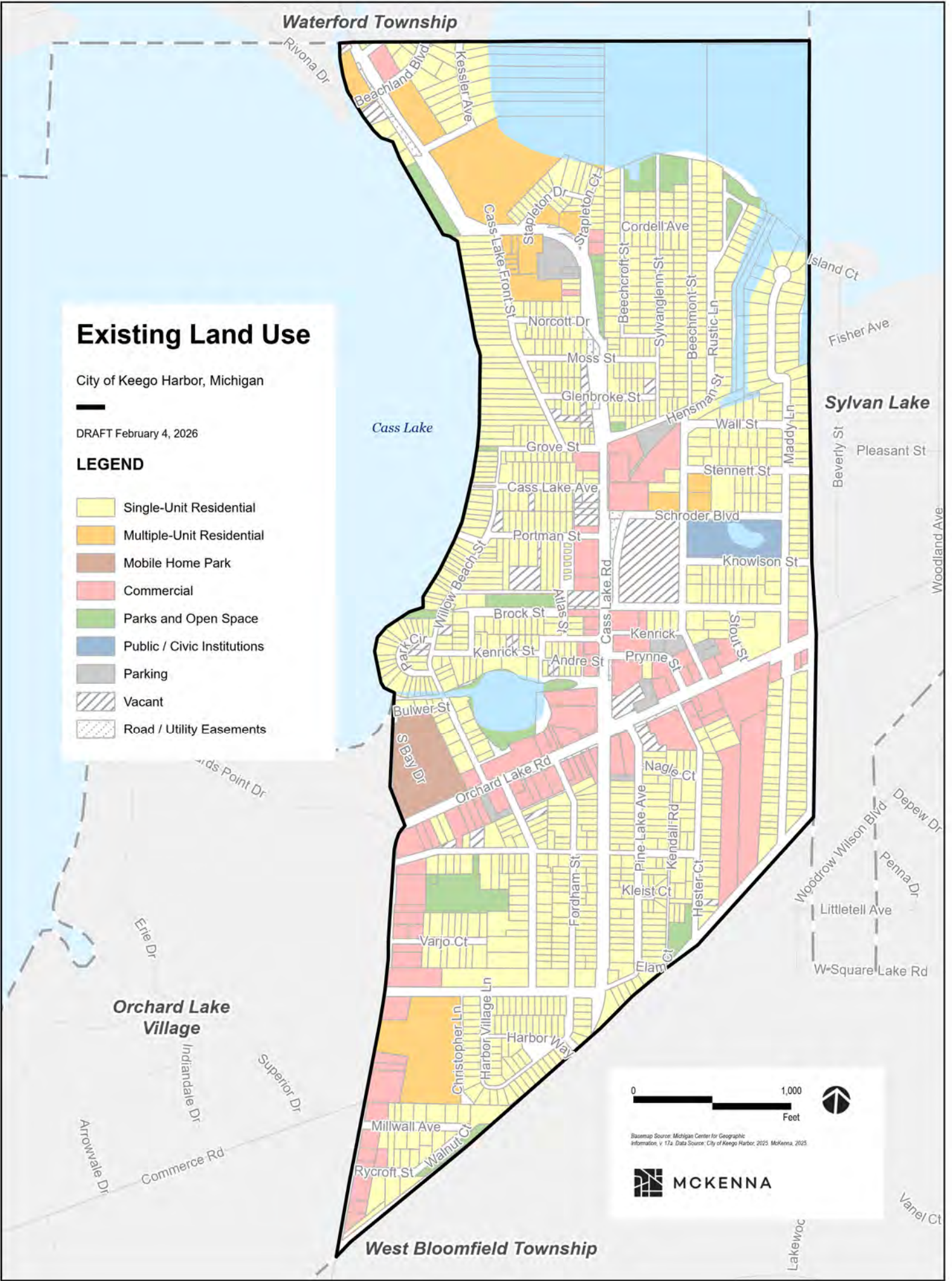
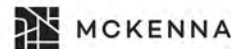
**Sylvan Lake**

**Orchard Lake Village**

**West Bloomfield Township**



Basemap Source: Michigan Center for Geographic Information, v 11a. Data Source: City of Keego Harbor, 2025. McKenna, 2025.



While the Existing Land Use map provides a visual of how land is being used in Keego Harbor, providing the percentage of land that is used by each land use classification can provide illuminating information. [Table 2.7](#) provides a breakdown of the percentage of land being used for each land use classification.

**Table 2.7** Breakdown of Existing Land Use

EXISTING LAND USE CATEGORY	NUMBER OF ACRES USED	PERCENTAGE OF LAND USED
Single-Unit Residential	200.42	65.8%
Multiple-Unit Residential	25.87	8.49%
Mobile Home Park	4.96	1.63%
Commercial	39.62	13.01%
Parks and Open Space	14.06	4.62%
Public and Civic Institutions	3.29	1.08%
Parking	3.72	1.22%
Vacant	10.55	3.46%
Road / Utility Easements	2.05	0.67%

Source: McKenna Calculations, 2025

Like many communities throughout Michigan, the majority of Keego Harbor’s land is used for single-unit homes. 13.01% of Keego Harbor’s land is being used for commercial activity. While this category mostly includes restaurants, services, and retail, more intensive commercial activity such as the Mobil Gas Station and Shecter Landscaping also takes place in these areas. 14.27 acres, or 4.68%, of land is either vacant or being used solely for parking. This land could be more efficiently used by adding housing, commercial, or mixed-uses, representing an opportunity to achieve the City’s development goals and create a more vibrant Keego Harbor.

## Opportunities and Constraints

Planning for the future requires an understanding of the existing features in the City that have an opportunity to be enhanced, and constraints that cause challenges for future improvements. [Map 2.2](#) illustrates existing opportunities and constraints in Keego Harbor.

**Waterford Township**

# Opportunities and Constraints

City of Keego Harbor, Michigan

DRAFT February 5, 2026

## LEGEND

- Opportunities
- Opportunity - Connect Sidewalk Network
- Constraints
- Constraint - Unmarked Crosswalks
- Priority Redevelopment Sites
- Potential Gateway Features
- West Bloomfield Trail

## Opportunities

- 1** CBD - Streetscape Improvements, Build to Sidewalk
- 2** Increased Public Access to Waterfront
- 3** Narrow, Pedestrian Friendly Streets
- 4** Potential Fran Leaf Park Expansion
- 5** Add Wayfinding Signage to West Bloomfield Trail

## Constraints

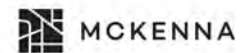
- 1** High Flood Hazard
- 2** Park Circle - Narrow Lot Width Along Road Frontage
- 3** Kleist Court - Narrow Lot Width Along Road Frontage



**Sylvan Lake**



Basemap Source: Michigan Center for Geographic Information, v. 11a. Data Source: City of Keego Harbor, 2025. McKenna, 2025.



**West Bloomfield Township**

Keego Harbor has several opportunities that can be built upon. First, Keego Harbor’s Central Business District offers several opportunities. With the adoption of the Village Overlay District, redevelopment in the Central Business District can be built closer to the street, enhance the pedestrian environment through wider sidewalks, and introduce a more diverse business mix in the corridor. Second, developing a public park and boardwalk along Dollar Lake can increase the amount of public waterfront access and create a new community amenity that attracts visitors from around the region. Third, some neighborhoods offer narrow, pedestrian friendly streets that ease the ability of residents to walk around their neighborhoods. Fourth, Keego Harbor could pursue an expansion of Fran Leaf Park to the adjacent vacant parcel across Atlas Street as depicted in the 2021 Cass Lake Road Village Plan and the 2025 Amended TIF and Development Plan, which would connect Fran Leaf Park to the greater Cass Lake Road corridor. Keego Harbor also has an opportunity to expand the sidewalk network by connecting disjointed portions of the sidewalk network together.

However, several constraints may cause difficulties for planning improvements in the City. First, a significant flood hazard area exists north of Dollar Lake, threatening residential neighborhoods in the area. These flood hazard areas are also depicted in the Flood Hazard map in [Chapter 8](#). Second, some neighborhoods, such as the Park Circle neighborhood and the Kleist Court neighborhood, have very narrow lot frontages along the roadway, which can complicate the process of renovating or improving existing homes on these nonconforming lots. The City may consider amending the Zoning Ordinance to create particular standards for these lots. Finally, most crossings in the City are unmarked, reducing pedestrian safety throughout the City. Painting marked crosswalks removes this constraint on the pedestrian environment.

## Key Changes and Challenges

### Major Changes Since the 2018 Plan Update

#### CLOSURE OF ROOSEVELT SCHOOL

The Roosevelt School, an elementary school and historic building owned by the West Bloomfield School District, was closed in 2022. Demolition began on the building in December 2025. Redevelopment of this site will be an important part of the City’s future. A vision for this site as a mixed-use and community space is illustrated in [Chapter 5](#).



#### CLOSURE OF RITE AID

Additionally, in 2024, as part of Rite Aid’s closure of stores throughout Michigan, the Rite Aid location at 3000 Orchard Lake Road closed permanently. This commercial site is important for the development of Keego Harbor, as it is at the corner of the main Orchard Lake Road and Cass Lake Road corridors. It is also included as a priority redevelopment site in [Chapter 5](#).



## Key Challenges

### COMMERCIAL VACANCY

Keego Harbor is home to several strip shopping centers, many which have partial vacancies. Some of these strip centers have fallen into a state of disrepair. Furthermore, as strip-style commercial development has fallen out of favor as more walkable, traditional forms of commercial development became more desirable, the City may observe less demand from commercial tenants for these strip centers.

### WALKABILITY

Throughout the community engagement process, residents have expressed a desire for a walkable commercial corridor and neighborhoods. However, the current character of the City's commercial corridors and neighborhoods does not allow for the walkable environment Keego Harbor is striving to achieve. Key challenges that inhibit walkability include a lack of a buffer between the sidewalk and Orchard Lake and Cass Lake Roads, ongoing sidewalk repair issues, and limited marked street crossings.



**Figure 2.1** A “For Sale or Lease” sign in front of a vacant commercial building in Keego Harbor.



**Figure 2.2** While sidewalks currently exist along both Orchard Lake Road and Cass Lake Road, some sections of sidewalk are not buffered from the road or are in need of repair, reducing safety in Keego Harbor's pedestrian environment.

### PUBLIC WATERFRONT ACCESS

While Keego Harbor is home to several water resources, including Cass Lake, Sylvan Lake, and Dollar Lake, there is little public access to its waterfront. There are two public swim sites on Cass Lake at the intersection of Willow Beach and Grove Street and on Willow Beach Street north of Kenrick Street. However, these swim sites offer little beach frontage, with the Grove Street site having 33 feet of beach frontage and the Willow Beach site hosting 46 feet of beach frontage. Keego Harbor also offers a boat launch on Dollar Lake. However, there is no public beach frontage and only three to four public parking spaces.



**Figure 2.3** The Willow Beach Street Swim Site located on Willow Beach Street north of Kenrick Street is one of three public access points to the waterfront. These sites offer very little frontage along the water, as demonstrated in the picture above.



# 03

## **Community Goals and Objectives**

The purpose of the Master Plan is to serve as a guide for City officials, residents, and landowners in making future land use decisions, as well as bringing the future vision for Keego Harbor to life. As such, an overall vision for the community must be identified. During the planning process, a public workshop, community survey, and a survey of Planning Commissioners and City Councilpersons were conducted to ensure that the vision, goals, and objectives of the Master Plan reflect the vision of City residents, representatives, and property owners.

Goals are general in nature and as related to community planning, are statements of ideals toward which the City wishes to strive. Goals also express a consensus of community direction to public and private agencies, groups and individuals. Goals are long-range considerations that should guide the development of specific objectives.

Objectives are a means to achieve the overall goals of the Plan. Objectives take the form of more measurable standards or identify the methods in which the goals of the plan may be realized. In some instances, they are specific statements which can be readily translated into detailed design proposals or action recommendations.

Together, the following goals and objectives provide the foundation of the Master Plan and a framework for future implementation strategies. The Implementation Plan in **Chapter 9** provides in-depth strategies and potential partnerships to help achieve this vision and these goals and objectives.



# *Vision Statement*

The City of Keego Harbor will continue to evolve as a compact collection of neighborhoods with a balance of residential, office, commercial, and public uses. The City will enhance its unique identity as a lakeside community with historic neighborhoods and ample recreational amenities by promoting development that emphasizes community connection through pedestrian-friendly roads and crossings, well-maintained sidewalks and paths, and beautified, environmentally sensitive streetscapes that provide space for motorized and non-motorized transportation.

## Housing and Neighborhoods

### Goal #1

The City's neighborhoods will continue to be dominated by quality traditional style single-family homes designed to fit on the range of existing platted lots within the City. The City's waterfront residential lots will be developed in a manner that ensures adequate light and ventilation while recognizing the value of waterfront real estate. The City will continue to develop and maintain a range of housing types including townhomes and apartments that are designed to be compatible with the predominant single-family character of the community.

#### OBJECTIVES

- 1.1 Improve living amenities in all residential neighborhoods through high standards of housing design construction and access to usable and convenient parks. Continue to decrease the amount of visual clutter in front yards and encourage city-wide plantings and beautification efforts.
- 1.2 Develop clear and reasonable zoning standards to ensure that residential redevelopment occurs in a manner that is consistent with the platted lots sizes within the City and the traditional character of the existing homes within the City.
- 1.3 Continually monitor and encourage reinvestment in single-family homes, especially in blighted and lower income owner-occupied areas.
- 1.4 Continue to administer the City's property maintenance code and rental registration program. Identify opportunities to offer or connect residents with assisted housing rehabilitation programs.
- 1.5 Protect all neighborhood areas from disruptive through traffic that should be directed onto collector and arterial roads.
- 1.6 Support affordable housing opportunities that are consistent with market conditions.
- 1.7 Promote single-family residential developments that preserve scenic views and vistas.
- 1.8 Encourage infill residential development that is architecturally compatible with existing residential structures.

### Goal #2

The City will encourage additional housing opportunities that add vibrancy to the Central Business District and Keego Harbor as a whole by supporting mixed-use development and residential development on upper-stories of commercial buildings, and by identifying areas for higher-density housing development that still maintains the character of existing residential development in Keego Harbor, such as cottage court developments.

#### OBJECTIVES

- 2.1 Continue to support upper story residential development in commercial districts while expanding allowable residential uses in residential districts.
- 2.2 Collaborate with organizations like the Michigan State Housing Development Authority (MSHDA) and the Michigan Economic Development Corporation (MEDC) on future residential and mixed-use developments to identify financial incentives for developers.

## Economic Development

### Goal #1

Keego Harbor will continue to preserve and enhance the Central Business District as the center of neighborhood commercial and entertainment activities. The City will establish and maintain appropriate areas for small-scale neighborhood commercial uses that serve the needs of surrounding residential areas.

#### OBJECTIVES

- 1.1 Encourage a variety of mixed-use development and redevelopment in the Central Business District that is consistent with the scale and character of surrounding uses.
- 1.2 Enhance the appearance of the entire Cass Lake Road and Orchard Lake Road corridor through development of unified streetscape improvements and site improvement standards.
- 1.3 Direct incompatible vehicular-intensive commercial uses to appropriate areas outside of the historic Central Business District.
- 1.4 Assure comprehensive control over the location of commercial/office land uses through the use of zoning regulations and site plan review requirements.
- 1.5 Maintain high standards of site design for all commercial and office uses, including frontage beautification, buffering devices, landscaping, walkway linkages, controlled vehicular access, stormwater management, and attractive signage—all of which will promote long-term commercial stability.
- 1.6 Provide incentives and flexible mechanisms for commercial tenants and owners to upgrade existing commercial sites.
- 1.7 Support the development of public parking on publicly owned property.
- 1.8 Design and construct gateways (i.e., signs, monuments, landscaping) at strategic locations to mark the arrival into the City and planned business districts.



## Transportation and Mobility

### Goal # 1

Maintain a safe, efficient transportation and circulation system which minimizes conflicts among transportation users, promotes accessibility throughout the community, and accommodates the circulation needs of pedestrians within the City.

#### OBJECTIVES

- 1.1 Reduce the negative physical and psychological impacts of major thoroughfares cutting through the community through unified streetscapes, adequate street crossings, and smooth traffic flow.
- 1.2 Utilize and maintain safe pedestrian walkways, where possible, to link various land use types such as shopping and offices to residential areas, parks, and community activity centers.
- 1.3 Carefully use the site plan provisions of the zoning ordinance during the review of development plans to assure minimum traffic conflicts, adequate parking and loading areas, adequate on-site pedestrian circulation, proper signage, and reduced motorist confusion resulting from clutter.
- 1.4 Limit residential streets to local traffic, excluding through traffic as much as possible.
- 1.5 Assure that any expansion of major thoroughfares includes adequate buffering and landscaping for affected single-family residential and commercial areas.
- 1.6 If appropriate, implement complete streets ideals into street improvement projects to make City streets more accommodating for all types of users.



## Public Infrastructure, Facilities, and Services

### Goal #1

Continue to provide all segments of the population with high-quality and affordable community services and facilities.

#### OBJECTIVES

- 1.1 Maintain and, where possible, improve community services, including police and fire protection, regularly scheduled maintenance of street and utility systems, snow removal, senior citizen services, and other municipal activities.
- 1.2 Continue to maintain and improve the municipal building to adequately accommodate various civic functions.
- 1.3 Maximize the efficient use of all existing public facilities, through cooperative development and joint agreements with public providers such as the school district and other government entities.
- 1.4 Continue to seek opportunities for expanding public waterfront and park access for the residents of Keego Harbor.
- 1.5 Place emphasis on the development of attractive, high quality parks and recreation facilities in order to enhance local identity, image, and property values.

### Goal #2

Ensure ongoing community planning and the implementation of Master Plan recommendations.

#### OBJECTIVES

- 2.1 Review, update, and amend the zoning and subdivision regulations to address the goals and objectives of the Master Plan.
- 2.2 Update the Master Plan on a regular basis to address changing conditions, redevelopment proposals, and the development of new needs by residents.
- 2.3 Cooperate with nearby communities through the exchange of information on development and redevelopment issues, and other shared interests, such as community facilities and services, and development along shared boundaries.
- 2.4 Continue public capital improvement efforts in the City, including street and sidewalk repair and placement, provision of needed street lights, and street trees.
- 2.5 Continue to involve the public in the decision-making process.
- 2.6 Implement measures to streamline the development review process.

## Natural Resources and Environment

### Goal #1

Preserve and enhance the natural environment and water quality.

#### OBJECTIVES

- 1.1 Encourage the preservation of existing woodlands and wetlands. Promote street tree planting to help preserve the natural setting for residential areas.
- 1.2 Maintain the trees and vegetation around the City's lakes, and prevent the encroachment of housing and other development closer to the lake edge.
- 1.3 Provide for the protection of the lakes from the dangers of pollution, run-off, overuse, and misuse.
- 1.4 Protect the vistas and overlooks provided to the residents and the public from vantage points along the lakes.
- 1.5 Allow and encourage low impact development within the City, including the development of stormwater best management practices to minimize the negative impacts development can have on runoff and water quality.



# 04

## Housing and Neighborhoods

The Housing and Neighborhoods Chapter of the City of Keego Harbor’s Master Plan seeks to provide a comprehensive understanding of the City’s current housing conditions, while identifying areas for growth and improvement. This chapter provides a Community Housing Snapshot outlining and analyzing existing data related to housing. Additionally, this chapter offers a Residential Lot Size Analysis, which analyzes the City’s existing and potential residential lots to determine buildability based on the current standards in the Zoning Ordinance. The Community Engagement section analyzes the responses from participants in the Community Workshop and in the Community Survey to further our understanding of existing housing.

In addition, this chapter provides a thorough assessment through a Housing Opportunity Analysis. This analysis identifies Strengths, Weaknesses, Opportunities, and Threats for housing that the City is experiencing today. The Planning for Diverse, Attainable, and Accessible Housing section breaks down housing strategies suggested by the MSHDA Statewide Housing Plan that have been identified as applicable to Keego Harbor.

## Community Housing Snapshot

Data on current housing conditions can help the City identify current gaps in the housing stock and future housing needs to inform Keego Harbor’s housing goals. The following Community Housing Snapshot includes a variety of housing data, including household sizes, tenure, and age of housing stock, among other data points.

**Table 4.1** shows how average household sizes have changed in Keego Harbor between 1990 and 2023.

**Table 4.1** Average Household Size, City of Keego Harbor, 1990–2023

	YEAR					CHANGE, 1990–2023
	1990	2000	2010	2020	2023	
AVERAGE HOUSEHOLD SIZE	2.37	2.27	2.20	2.15	2.11	–0.26

**Source:** US Decennial Census, 1990, 2000, 2010, 2020; US Census American Community Survey 5-year Estimates, 2000, 2010, 2020, 2023

Keego Harbor has experienced declining household sizes since 1990, decreasing from 2.37 to 2.11 persons per household. This may be a result of an aging population and adult children moving out of households, among other demographic factors. Reducing household sizes may lead to a higher demand for smaller home sizes or attached homes that may require less maintenance.

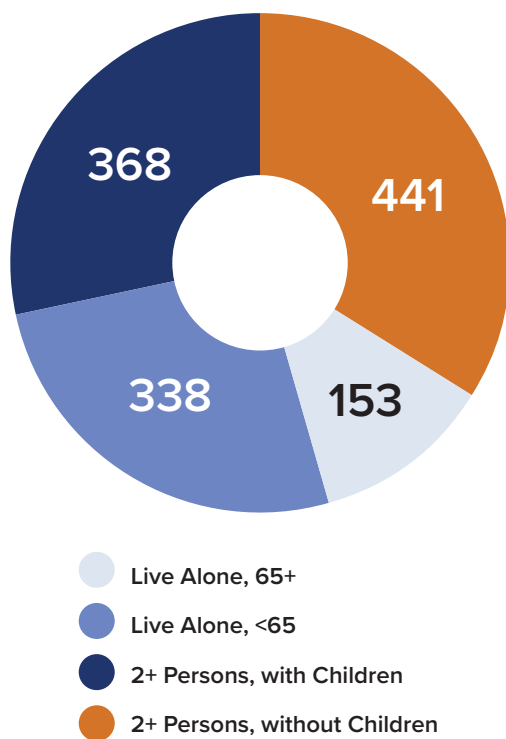
Like different household sizes, different household types are likely to have different housing preferences. **Table 4.2** provides the breakdown of different household types in Keego Harbor in 2010 and 2023, as well as SEMCOG’s projections on household types in Keego Harbor in 2050. **Figure 4.1** focuses on the breakdown of household types in 2023.

**Table 4.2** Household Types

HOUSEHOLD TYPES	2010	2023	CHANGE 2010–2023	PERCENT CHANGE 2010–2023	SEMCOG PROJECTION 2050
Live Alone, 65+	90	153	63	70.00%	—
Live Alone, < 65	377	338	–39	–10.30%	—
2+ Persons, with Children	417	368	–49	–11.80%	265
2+ Persons, without Children	408	441	33	8.10%	628
<b>Total Households</b>	<b>1,292</b>	<b>1,300</b>	<b>8</b>	<b>0.60%</b>	<b>1,358</b>

Source: US Decennial Census, 2010; US Census American Community Survey 5-year Estimates, 2023; SEMCOG 2050 Regional Development Forecast

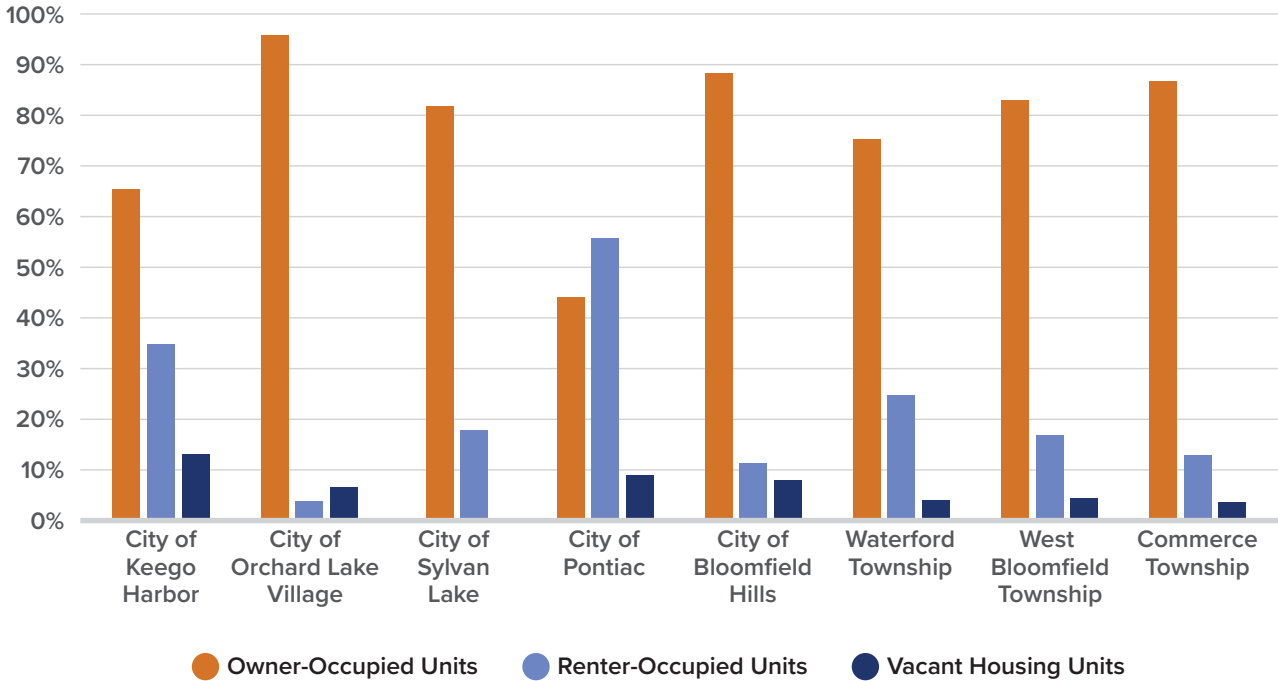
**Figure 4.1** Household Types, 2023



Keego Harbor has seen the largest increase in seniors aged 65 years and older living alone between 2010 and 2023. This supports the age breakdown data analyzed in [Chapter 2](#) that identifies a growing aging population. This increase may be due in part to the Magnolia by the Lakes senior living complex being constructed during this time period, which attracted seniors to move to Keego Harbor. In 2023, Keego Harbor’s largest household type was households of two or more people without children. SEMCOG projects this group to continue to grow to 628 households by 2050. This data, along with Keego Harbor’s decreasing household size, indicates that smaller housing units and housing types, like attached condominiums, that require less maintenance, may be in high demand moving forward.

Source: US Census American Community Survey 5-year Estimates, 2023

**Figure 4.2** Housing Tenure in Keego Harbor and Surrounding Communities, 2023



Source: US Census American Community Survey, 2023 5-year Estimates

Keego Harbor has a much higher diversity of housing tenure compared to surrounding communities, with the exception of the City of Pontiac. 65.3% of occupied homes are owner-occupied, while 34.7% of occupied homes are renter-occupied, with 13.2% of homes being vacant. Keego Harbor has the highest vacancy rate amongst surrounding communities, with its vacant rate being nearly 5% higher than the City of Pontiac, the community with the next highest vacancy rate. Factors that may be contributing to Keego Harbor’s high vacancy rate may be that the housing types available in Keego Harbor may not be what is demanded by the market, housing prices being unattainable for those in the area, the age or size of existing housing may be too difficult for home seekers to maintain, or homes are being occupied seasonally with vacancy occurring during winter months.

**Table 4.3** Building Permits, 2010–2025

YEAR	SINGLE-UNIT	TWO-UNIT	ATTACHED CONDO	MULTI-UNIT	TOTAL UNITS	TOTAL DEMOS	NET TOTAL
2010	4	0	0	0	4	7	-3
2011	0	0	0	0	0	1	-1
2012	1	0	0	0	1	0	1
2013	2	0	0	0	2	0	2
2014	3	0	0	0	3	0	3
2015	2	0	0	0	2	0	2
2016	2	0	0	90	92	0	92
2017	3	0	0	0	3	1	2
2018	1	0	0	0	1	0	1
2019	0	0	0	0	0	1	-1
2020	4	0	0	0	4	3	1
2021	2	0	0	0	2	0	2
2022	4	0	0	0	4	2	2
2023	2	0	0	0	2	1	1
2024	1	0	0	0	1	1	0
2025	1	0	0	0	1	0	1
<b>TOTAL</b>	<b>32</b>	<b>0</b>	<b>0</b>	<b>90</b>	<b>122</b>	<b>17</b>	<b>105</b>

Source: SEMCOG Development, 2025

SEMCOG collects building permit data from Keego Harbor and other local governments across Southeast Michigan to determine how much and what types of new housing are being built. Between 2010 and 2025, Keego Harbor saw a net increase in 105 housing units, with most units being in multi-unit complexes. Another 32 new units were single-unit homes. The 90 multi-unit building permits issued in 2016 were for the Magnolia by the Lakes senior living facility, which offers a total of 125 assisted and independent living units for seniors.

**Figure 4.3** Magnolia by the Lakes Senior Living Facility



**Table 4.4** Median Housing Value and Median Gross Rent (in 2023 Dollars)

HOUSING VALUE (IN 2023 DOLLARS)	2010	2023	CHANGE 2010–2023	PERCENT CHANGE 2010–2023
Median housing value	\$232,294	\$246,300	\$14,006	6.0%
Median gross rent	\$1,211	\$1,125	-\$86	-7.1%

Source: US Census American Community Survey, 2010 and 2023 5-year Estimates

Median housing values have increased by 6.0% between 2010 and 2023, while median gross rents have decreased by 7.1% over the same period. Meanwhile, Oakland County as a whole has experienced median housing value increase of 5.9%, and median rents have increased by 2.3%.

## Residential Lot Size Analysis

**Map 4.1** identifies lots in Keego Harbor of varying sizes. In addition to residential parcels, this map also includes parcels that have the potential for a residential future in Keego Harbor. Included are sites currently used for single-unit and multi-unit homes, as well as the mobile home park.

The ranges displayed on the map were selected based on the current minimum lot sizes in the NR Neighborhood Residential District, which are 3,000 square feet for lots created before January 1, 2003, and 6,000 square feet for those created after January 1, 2003. There are notably very few that fall under 3,000 square feet.

Most residential parcels are between 3,001 and 7,500 square feet, suggesting that most residential lots are buildable based on the current standards in the NR District. Very few lots are below 3,000 square feet. Many of these lots are built-out residential parcels along Grove Street and Kleist Court. To become buildable, some of these parcels could be combined, or specific dimensional standards could be created to accommodate residential development on these lots. Considering that the majority of the parcels are under 10,000 square feet, much of the City is already built out and conducive to higher-density Single-Unit Residential, Multi-Unit Residential, and Mixed-Use land uses. Few larger sites are remaining, so thoughtful development is key.

Waterford Township

# Residential Lot Size Analysis

City of Keego Harbor, Michigan

DRAFT February 5, 2026

## LEGEND

### Residential Lot Size (Square Feet)

- 0 - 3,000
- 3,001 - 6,000
- 6,001 - 7,500
- 7,501 - 10,000
- 10,001 and Up
- Non-Residential Parcels



0 1,000 Feet

Basemap Source: Michigan Center for Geographic Information, v 17a. Data Source: Access Oakland, 2025, McKenna, 2025

Orchard Lake Village

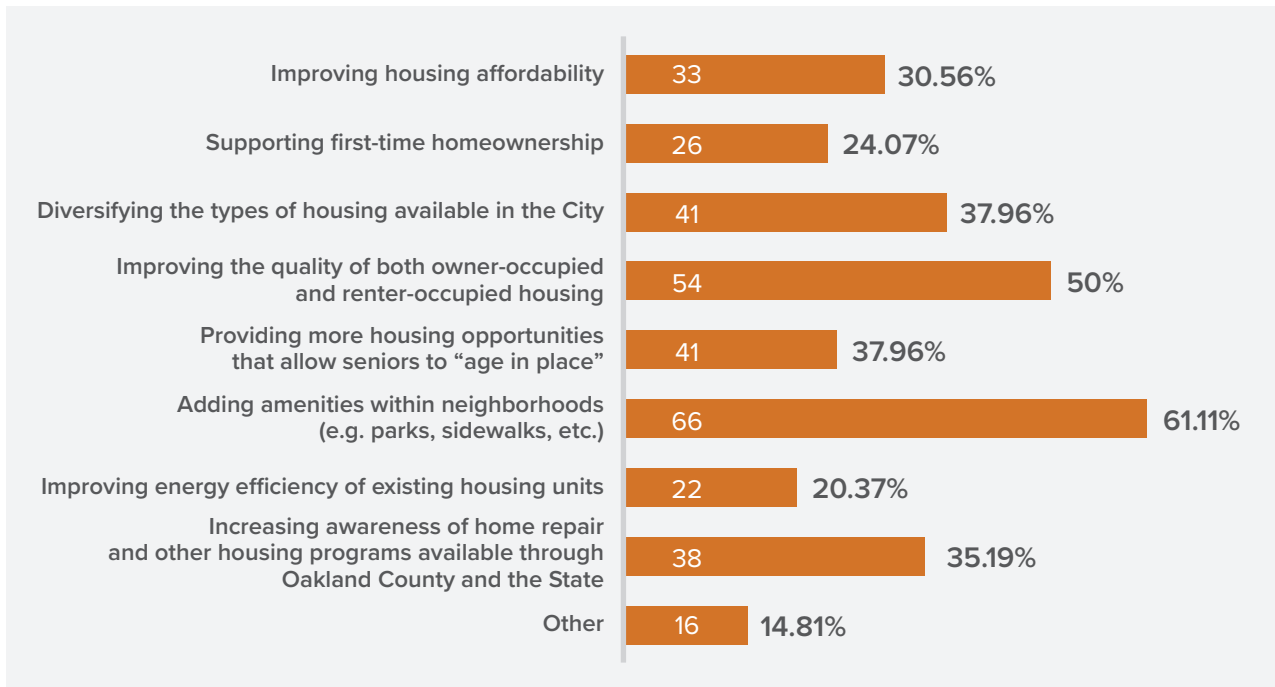
West Bloomfield Township

Sylvan Lake

## Community Engagement

Housing was one of many topics discussed at the April 29, 2025 Community Workshop and in the Community Survey. This Master Plan’s community engagement process clarified the community’s housing priorities and desired strategies that support these priorities, which are outlined in the following section. **Figure 4.4** shows the list of potential housing priorities provided to respondents of the Community Survey and the percentage of respondents that selected each priority.

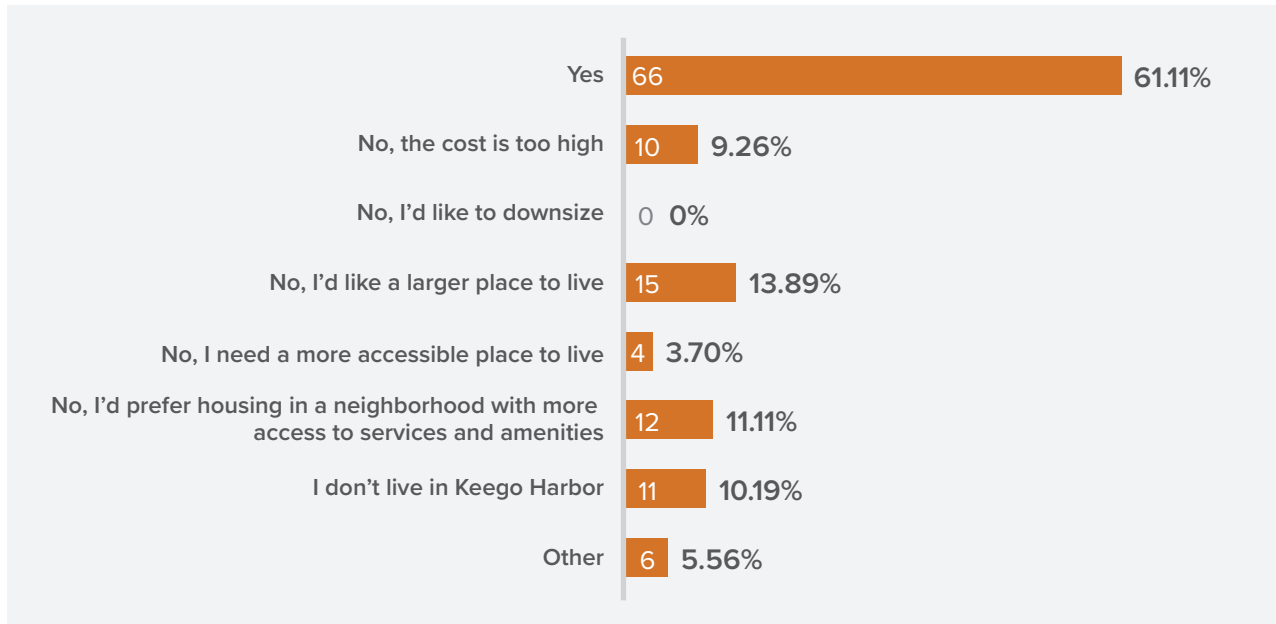
**Figure 4.4** Housing Priorities



In the Community Survey, respondents expressed access and amenities, quality housing, and housing diversity as the most important housing priorities for Keego Harbor. “Adding amenities within neighborhoods (e.g. parks, sidewalks, etc.)” was selected as survey respondents’ top priority (66 respondents, 61.11%), followed by “Improve the quality of both owner-occupied and renter-occupied housing” (54 respondents, 50.00%) and “Diversifying the types of housing available in the City” (41 respondents, 37.96%). These housing priorities relate strongly to the housing trends identified during the analysis of community Census data. For example, Census data revealed that Keego Harbor’s large stock of three- and four-bedroom homes may not meet the needs of Keego Harbor’s declining household sizes, highlighting the need to explore housing strategies that can increase the supply of smaller units. The community’s expressed desire to see greater housing diversity validates this need identified through the data analysis.

Respondents were also asked to consider how Keego Harbor’s existing housing stock met their needs, which can help specify additional housing priorities. **Figure 4.5** shows how respondents answered the question “Do existing housing options in Keego Harbor meet your needs?”. For this question, respondents were able to select any option that applied to them.

**Figure 4.5** Characteristics of Housing Supply Versus Housing Needs



Respondents largely felt that the existing housing options in Keego Harbor met their current needs (61.11%, 66 respondents). However, 13.89% of respondents (15 respondents) would like to move into a larger home, and another 11.11% of respondents (12 respondents) would like to live in a neighborhood with more access to services and amenities.

Attendees of the Community Workshop were also asked to provide their insight into existing housing needs and conditions in Keego Harbor. For one activity, attendees were provided with photos of different housing types and asked to place a dot sticker to indicate if they thought Keego Harbor had too much, not enough, or the right amount of each type of housing. **Table 4.5** provides the results of this activity.

**Table 4.5** Housing Visual Preferences

HOUSING TYPES	MORE %	LESS %	RIGHT AMOUNT %
Single-unit home (N=16)	81%	0%	19%
“Missing Middle” Housing (N=14)	93%	0%	7%
Attached Townhouse or Row Houses (N=13)	54%	23%	23%
Apartments (N=10)	60%	10%	30%
Senior Living Facilities (N=15)	0%	60%	40%
Accessory Dwelling Units (ADU) (N=10)	70%	10%	20%
Upper-Story Residential/ Mixed-Use (N=20)	80%	15%	5%

Residents were most supportive of seeing more “Missing Middle” Housing (e.g. duplexes, triplexes, quadplexes, cottage court homes, and similar housing types) in the community. While many were also supportive of seeing more single-unit homes in Keego Harbor, nearly 20% of attendees felt like the existing amount of single-unit homes was sufficient. Attendees were also supportive of mixed-use developments with commercial uses on the ground floor with residential units above, with nearly 80% of stickers for this housing type indicating they would like to see more of this type of development.

Finally, attendees of the Community Workshop and respondents of the Community Survey were asked about locations in the City where they would like to see additional housing, including the Missing Middle Housing types above. Many of the comments focused on wanting to see more downtown housing options, affordable and safe housing, and specific types of housing along the lakes, emphasizing walkability and housing diversity. Select comments provided by workshop attendees and survey respondents are provided below:

## Community Workshop & Survey Comments

*Trailer park plan needs to go through—if this is developed into a park, apartment and parking place for Keego Harbor it could significantly improve the amount of traffic and economic stimulus Keego Harbor would get.*

*Right in downtown to create a downtown feel and increase density.*

*Housing in our community is an extreme...ultra rich and poor. We need a balance. Also, with cost of living, we need to be able to house multiple generations with mother-in-law suites above the garage.*

*Town houses, condos, smaller homes. More affordable, safe housing.*

*Some types could be infilled between existing single-family homes, others need bigger patches, like the south end of Beechmont. My thought is that we already are a center for low-moderate income housing, and there is a real shortage of that, so we should capitalize on it. More density means more efficiency from the standpoint of environmental impact. Shared walls and plumbing, etc. Not on a huge scale, but in keeping. So, a small apartment building is a lot better than 4 tiny homes on separate lots, and takes up about the same space as a McMansion.*

*Walkable area, close to public transit and small business establishments (not close to lake for more affordability).*

*Tiny homes along the water (like Dollar Lake).  
Downtown Apartments/Flats near the Orchard Lake/  
Cass Lake Road intersection.*

*I think being able to add apartments above retail stores is very cute and leads to a more walkable neighborhood. Rochester has that and it's very tastefully done as they stick to a city esthetic.*

*...We have lived in the Sylvan Lake area 30 years, and Keego Harbor for 11 years. It's home!!! Since selling our home, we are in an apartment in Keego now, but it is not senior friendly. We would love something priced comparable to Pine Lake Manor that is built with seniors in mind. We would stay another 20 years!*

*Redeveloping downtown with condos above businesses and tree lined safe walkways to shops and restaurants.*

*Would love to see the “starter home” style integrated within the neighborhoods to attract more young couples or families instead of the 2500+sf homes that keep being built. Downtown flats above retail along Cass Lake and/or Orchard Lake would be fabulous. Would also love to see more view shed restrictions in place along the waterfront. I think in-law suites built over detached garages should be allowed.*

*The city should be MORE walkable...The sections of Cass Lake Rd. leading up to Orchard Lake Rd. should be redeveloped into a mini “downtown” type area for the community to enjoy and bring together.*

## Summary

Based on the data and community engagement analysis of this chapter, the following key takeaways have been identified for Housing and Neighborhoods:

- Keego Harbor has much greater diversity of housing tenure than surrounding communities, helping meet the housing needs of a greater variety of people. However, Keego Harbor also has the highest vacancy rate among surrounding communities.
- Those age 65 and older who live alone is the fastest growing household type in the City. This data and the age breakdown data in [Chapter 4](#) indicate that housing strategies that support residents who want to age-in-place would be beneficial.
- Many existing residential lots are buildable based on the current standards of the Zoning Ordinance. Some nonconforming lots along Kleist Court and Grove Street may need to be combined to support additional residential development, or amended Zoning Ordinance standards relating to remaining nonconforming parcels could be considered to allow for innovative housing types, such as microhousing, to be constructed on these small lots.
- Keego Harbor residents are interested in seeing a wider variety of housing types in the community, including Missing Middle housing types and upper-story residential and mixed-use development. Community engagement takeaways related to housing are provided in the “Community Engagement” section of this Chapter.



## Housing Opportunity Analysis

STRENGTHS	WEAKNESSES
<ul style="list-style-type: none"> <li>• High-quality single-family and townhome residential development along the waterfront.</li> <li>• Small lot sizes allow for increased residential density and more efficient use of land.</li> <li>• Keego Harbor’s housing stock is more diverse in form than the housing stock of surrounding communities, which can support a larger variety of households and their needs.</li> </ul>	<ul style="list-style-type: none"> <li>• High residential vacancy—Keego Harbor’s residential vacancy rate is 5% higher than the City of Pontiac, the neighboring community with the next highest vacancy rate.</li> </ul>
OPPORTUNITIES	THREATS
<ul style="list-style-type: none"> <li>• Reinvigorating underutilized land—examine opportunities to use existing vacant and underutilized land</li> <li>• Opportunities to add upper-story residential uses in existing commercial areas, as allowed by the current Zoning Ordinance.</li> </ul>	<ul style="list-style-type: none"> <li>• Landlocked location allows for little to no growth within and beyond municipal boundaries.</li> </ul>

## Planning for Diverse, Attainable, and Accessible Housing

Detailed housing strategies for the City of Keego Harbor offer an approach to accomplishing goals and objectives that not only address immediate housing needs but also support long-term sustainable changes. Enhancing this strategy through alignment with the Michigan Statewide Housing Plan provides a strategic framework to tackle the City’s housing challenges while leveraging state resources and best practices. By aligning local objectives with statewide priorities, Keego Harbor can work towards strengthening its efforts to increase access to affordable, equitable housing, improve housing supply, and enhance overall affordability for residents. This alignment also enables Keego Harbor to tap into broader state initiatives, foster collaboration, and implement innovative solutions that improve housing opportunities for all residents.

### Strategic Housing Priorities

The Michigan Statewide Housing Plan outlines key priorities, goals, and strategies to address housing affordability and overcome barriers to housing. The priorities identified in the plan offer clear areas of focus for the effective implementation of housing strategies.

- Equity and Racial Justice
- Housing Ecosystem
- Preventing and Ending Homelessness
- Housing Stock
- Older Adult Housing
- Rental Housing
- Homeownership
- Communication and Education

## Key Terms to Implement Housing Strategies

<b>Accessible Housing</b>	A dwelling that offers accommodations for people with disabilities to live barrier-free and safely.
<b>Affordable Housing</b>	Housing for which the occupant is paying no more than 30% of their gross income in housing costs, including utilities.
<b>Area Median Income (AMI)</b>	The middle amount of income for a community or region in a distribution of incomes. In other words, half of the population has an income below the AMI and half has an income above the AMI. This is used as a benchmark for determining the overall income levels of geographic areas.
<b>Extremely Low-Income</b>	A household whose annual income does not exceed the federal poverty level or 30% of the AMI, whichever number is higher.
<b>Healthy Housing</b>	Housing that provides its residents with a safe and sanitary place to live, reducing the risk of health problems such as asthma, lead poisoning, or other illness and injury.
<b>Low-Income</b>	A household whose annual income does not exceed 50% of the AMI
<b>Marginalized Populations</b>	Groups or categories of people who experience discrimination or exclusion from communities or opportunities due to imbalances of wealth or power.
<b>Mixed-Income Housing</b>	Housing that provides a range of options that people at various income levels can afford.
<b>Moderate Income</b>	A household whose annual income is between 50% and 80% AMI.
<b>Workforce Housing</b>	Housing that is affordable and typically created for workers in proximity to their jobs.

Source: MI Statewide Housing Plan Appendix B

## Strategic Recommendations

To ensure alignment with statewide housing objectives, this section consolidates the goals and strategies outlined in the analysis of the Michigan Statewide Housing Plan and those strategies most relevant to Keego Harbor's unique housing challenges and opportunities. By focusing on those strategies that directly support Keego Harbor's needs, such as increasing affordable housing, enhancing housing supply, and improving equity in housing access.

### Equity and Racial Justice

STRATEGY	ACTION
1.1.A	Establish a standing equity advisory committee including those with lived experience to review findings and housing equity concerns (e.g., access to affordable housing, accessibility, lead in drinking water/paint, credit worthiness) and then provide recommendations to the statewide housing partnership responsible for implementation of the Statewide Housing Plan.
1.2.B	Identify disparate impacts resulting from typical application criteria or tools (e.g., residency requirements, credit scores, landlord references) and recommend changes, such as alternative documentation.
1.2.D	Incentivize landlords to participate in housing programs serving vulnerable populations who hold temporary or emergency vouchers or other assistance.
1.3.A	Promote universal and barrier-free design accessibility, while considering additional space for special needs and equipment and contextual factors (e.g., access to transit and amenities) that influence accessibility and visitability.
1.3.C	Incentivize increased numbers of accessible units, including for extremely low incomes, in new development projects.
1.4.D	Increase funding for rental support for returning citizens and justice-involved individuals.
1.5.B	Promote the use of community-benefit agreements that give voice, amenities, protections, and other assurances to residents affected by development projects.

### Housing Ecosystem

STRATEGY	ACTION
2.1.A	Create and/or align regional networks to promote discourse, identify gaps, leverage resources, address systemic inequities, remove barriers, and collaborate on housing plans and projects; assess capacity of regional networks on a regular basis and fill gaps where appropriate.
2.5.A	Coordinate with others, including the MIHI (Michigan High-Speed Internet) Office, in working to improve access and affordability.

### Preventing and Ending Homelessness

STRATEGY	ACTION
3.2.A	Incentivize development of affordable and accessible housing units for households at or below 30% AMI to increase supply.
3.3.A	Increase funding for supportive housing services that are evidence-based, aligned with quality measures, and focused on tenant outcomes.
3.5.C	Track supportive housing unit creation and annually re-evaluate unit projections by population to set and monitor unit production goals.

## Housing Stock

STRATEGY	ACTION
4.1.A	Advocate at the federal and state levels for increased funding, including gap funding, to support affordable and attainable housing ranging from small- to large-scale housing development.
4.1.F	Implement recommendations of the Racial Equity Impact Assessment for the Low-Income Housing Tax Credit Program to increase more equitable, affordable, and attainable housing.
4.3.A	Streamline access to existing tools and funding sources to help with the added costs of developing energy-efficient housing.
4.3.B	To create more healthy housing, incentivize developers to use green building practices.
4.4.B	Support the establishment and use of guidelines for assessing the quality of housing stock.
4.4.C	Support the innovative conversion or repurposing of unused residential properties, commercial space, and other buildings, with accessibility modifications wherever possible.
4.5.A	Encourage local municipalities and others tasked with project oversight and inspection to coordinate to ensure resident health and safety concerns are addressed in housing rehabilitation.
4.6.A	Provide more incentives and fund income and appraisal gaps to support the development of missing middle housing types and workforce housing.
4.7.A	Provide capacity in the form of housing-related technical support for smaller municipalities.
4.7.C	Continue to provide funding for equitable and inclusive community master planning and zoning updates through the MEDC's Redevelopment Ready Communities program technical assistance match funding.
4.8.C	Educate about and promote the use of community land trusts/shared-equity housing.

## Older Adult Housing

STRATEGY	ACTION
5.1.A	Review and modify housing programs to remove barriers to expanding and improving older adult housing.
5.2.A	Develop or enhance local aging-in-place education and resources for older adults, their caregivers and families, and landlords through housing counseling agencies, Area Agencies on Aging, home and community services agencies, Program of All-Inclusive Care for the Elderly, and services that are near their homes or otherwise easily accessible.
5.2.B	Expand funding opportunities that would allow older adult homeowners and landlords to make modifications to units to support aging in place, accessibility, and visitability.
5.2.C	Support local zoning that is appropriate for older adult housing options, such as accessory dwelling units.
5.3.A	Work with regional and local government groups to develop best practices to help ensure that their older residents have access to a continuum of care in affordable and accessible facilities.

## Rental Housing

STRATEGY	ACTION
6.1.A	Encourage early-intervention eviction-diversion and referral programming at the community level that engages landlords, property managers, tenants, utilities, and community service providers to identify those who are at risk before court action is needed, and if unavoidable, increase access to legal services for tenants in eviction proceedings.
6.2.A	Develop programs with landlords and their trade associations to remove barriers and provide incentives (e.g., screening criteria, rent guarantees).
6.2.D	Identify non-federal funding sources that address gaps between housing subsidies and market rents while reflecting local conditions (e.g., utility costs).
6.2.E	Establish a statewide housing mobility program targeted particularly to Housing Choice Voucher tenant participants and prospective landlords, including affordable supportive services and incentives for landlords renting properties in mixed-income areas.
6.3.A	Provide assistance to landlords who have financial hardships to make sure property is up to code, is weatherized and energy efficient, and/or maintained for quality, health, and safety, conditioned on maintaining unit affordability.
6.3.B	Provide shared resources and other support to municipalities to facilitate landlord registries, regular inspections, and code enforcement.

## Homeownership

STRATEGY	ACTION
7.1.A	Expand programs that help households navigate the home-buying process with personalized, culturally responsive assistance.
7.1.C	Increase shared-equity programs where the homebuyer and funding organizations share equity in homes and thereby make mortgages more affordable for low-income buyers over a period of time.
7.2.A	Create a public-private lender collaborative, with involvement from CDFIs, to identify new ways to increase lending to low- and moderate-income homebuyers, including down payment assistance.
7.4.B	Develop a coaching program to assist first-time homeowners through their first few years.

## Communication and Education

STRATEGY	ACTION
8.1.B	Meet people where they are when communicating with them through culturally appropriate, accessible delivery formats (including for people with disabilities), languages, and messengers.
8.2.B	Increase awareness, among housing providers and those who provide assistance, of the programs and services available.
8.2.C	Increase awareness of the process for qualifying, enrolling, and obtaining local- and state-subsidized housing, including waiting lists, among those needing assistance.
8.3.A	Increase fair housing education, promotion, testing, obligation, and enforcement through partnerships and resource-sharing through the Fair Housing Centers, local government, the Michigan Department of Civil Rights, and HUD.
8.3.B	Develop targeted educational materials specifically for populations with vulnerabilities such as those experiencing homelessness, immigrants, refugees, migrants, BIPOC, LGBTQ+, people with disabilities, etc., that outline their rights and communicate how to report suspected illegal or unethical landlord conduct.
8.4.A	With additional funding, expand the network of and outreach from providers who deliver financial literacy to support housing stability.
8.4.C	Help those people who are unbanked to establish relationships with financial institutions.

## Housing Tools

To work towards the relevant Strategic Housing Priorities and Strategies from the Statewide Housing Plan and the strategies in the [Implementation Matrix](#) in [Chapter 9](#), more housing will need to be built that is attainable for all incomes and household types. This will require the use of several programs and financing sources that support housing construction. The following section outlines several programs and funding opportunities that the City and housing developers can use to support the housing goals and objectives of this plan.

### Attainable Housing Facilities Exemption and Residential Housing Exemption

An Attainable Housing Facilities Exemption is a program enabled by Public Act 236 adopted in 2022. This program provides an Attainable Housing Exemption Certificate (AHEC) to qualified owners of a rental building with four units or less to provide tax incentives for up to 12 years to support renovations of aging buildings or the construction of new facilities. The rental units must be affordable for those earning at or below 120% of the area median income, and rents must not be more than 30% of the household's modified household income.

A Residential Housing Exemption is a similar program established by Public Act 237 of 2022. However, this program applies to owners of a rental building more than four rental units.

For landlords to utilize these programs, Keego Harbor must establish an Attainable Housing District (AHD) and a Residential Housing District (RHD). A municipality can have one or more AHDs or RHDs, and an AHD or RHD can consist of one or more parcels.

### Housing Tax Increment Financing (HTIF)

In 2023, the State of Michigan amended the Brownfield Redevelopment Financing Act to include reimbursement for the development of affordable housing for those making at or below 120% of the area median income or subsidized housing as an eligible use of Brownfield TIF funds. To use this tool, Keego Harbor would need to create a Brownfield Redevelopment Authority and submit a Brownfield Work Plan to be reviewed and approved by MSHDA. The Work Plan must demonstrate that the eligible activities it is proposing to utilize TIF funding for improves housing gaps and barriers identified in a housing needs assessment, a third-party market study, and aligns with the Statewide Housing Plan.

### Payment in Lieu of Taxes (PILOT)

To encourage the development of attainable housing, the State of Michigan adopted Act 303, which permits municipalities to enter into PILOTs agreements with developers without leveraging state and federal tax credits. Rather than paying property taxes, a PILOT agreement allows the developer to pay an annual fixed service charge.

PILOTs can be a great tool for incentivizing affordable housing development and collaborating with a developer through the agreement negotiation process to maximize the public benefit of the development. However, it is important to ensure that the benefits secured by the PILOT agreement outweigh the cost of lost tax revenue. If the City chose to pursue PILOTs as a housing development tool, the City could consider adopting a PILOT ordinance that will clearly lay out how the City will approve PILOTs and monitor the agreements to ensure their terms are being met by both the City and the developer.



# 05

## **Economic Development**

Commercial corridors are often considered the ‘heart’ of our communities. Economic development promotes the health and vibrancy of this ‘heart’ by developing job opportunities for residents and improving quality of life by ensuring the goods and services needed by residents are nearby. The following chapter provides data analysis on trends in the commercial market in Keego Harbor and the larger geographic submarket, describes opportunities for the development of City-owned properties, highlights community engagement results relating to economic development, and provides a vision for multiple priority redevelopment sites in Keego Harbor.

## Characteristics of Commercial Development

Commercial market data such as occupancy rates, rental rates, construction, and building sales helps identify the opportunities and challenges for commercial development in Keego Harbor, which in turn, identifies economic development strategies to support economic vitality. Market inventory data from CoStar, a commercial real estate database, was gathered in June 2025 to provide insight into the existing commercial development in Keego Harbor.

It is important to note that market data regularly becomes outdated due to the fast-paced changes that take place in the commercial market sector. Additionally, CoStar may have gaps in certain types of data due to response issues from building owners and similar data collection concerns. However, this data can still provide important insights into Keego Harbor’s commercial market sector.

According to the June 2025 CoStar report, Keego Harbor offers 568,000 square feet of commercial inventory, of which 113,000 square feet, or 19.9%, are vacant. Commercial vacancy in Keego Harbor has increased by 10.7% over the past year, likely due to the closure of Rite Aid on the corner of Orchard Lake and Cass Lake Roads. Net absorption of commercial square footage over the past 12 months was –60,000 square feet, a decline of 557%. Net absorption describes the amount of square footage being newly vacated subtracted from the amount of square footage newly occupied. If net absorption is negative, it indicates that commercial space in that area is in low demand. These statistics are indicative of a declining commercial market sector in Keego Harbor.

Despite the trends of increasing vacancy rates, the market asking rent per square foot in Keego Harbor increased by 2.6% over the past year to \$24.95 per square foot. No new commercial construction has been completed over the past year. Much of Keego Harbor’s existing commercial stock includes strip centers, although there are some limited examples of single tenant commercial buildings.

It is important to compare Keego Harbor’s commercial stock to other commercial areas in the same commercial market. Markets rarely follow municipal boundaries, as people often travel between municipalities for the goods and services they need, and as a result, markets often include multiple municipalities in a geographic area. CoStar’s Lakes Area retail submarket includes Keego Harbor, Orchard Lake Village, Sylvan Lake, Lake Angelus, Clarkston, Waterford Township, Independence Township, and West Bloomfield Township.

The forecasted average vacancy rate for the Lakes Area retail submarket is 9.0%, with the vacancy rate for strip centers being 8.1% and 9.8% for general retail. These vacancy rates are significantly lower than those in Keego Harbor. One potential explanation for these lower vacancy rates may be that the asking market rents in the submarket are lower than those in Keego Harbor. The overall commercial market asking rent per square foot for the Lakes Area retail submarket is \$15.60 as of June 2025, equating to a growth rate of 0.7% over the previous 12 months. Lastly, the Lakes Area retail submarket saw approximately 18,951 square feet of new commercial construction in the past eight quarters, encompassing the last two quarters of 2022 through 2024. The submarket is expected to see 53,193 square feet in new construction from Quarter 2 of 2025 to Quarter 3 of 2027. Most of this new construction appears to be concentrated in the Clarkston and Independence Township area and along M-59 in Waterford Township.

## Key Takeaways

Based on the data provided by the June 2025 CoStar report, we are able to provide the following key takeaways:

- Keego Harbor is experiencing high rates of commercial vacancy, which appear to be at risk of worsening, as net absorption of commercial square footage over the past 12 months was –60,000 square feet. These vacancy rates are significantly higher than those in the greater Lakes Area retail submarket.
- The average commercial market rent in Keego Harbor was \$24.95 per square foot compared to \$15.60 per square foot for the Lakes Area retail submarket. Further research and analysis would need to determine the factors relating to these large discrepancies in asking rent between Keego Harbor and the larger submarket.
- Unlike Keego Harbor, the Lakes Area retail submarket has seen new construction of commercial space over the past eight quarters. This new construction appears to be focused along major thoroughfares in Clarkston, Independence Township, and Waterford Township.

## Tax Increment Finance Authority (TIFA)

In April 2025, the Keego Harbor City Council adopted the 2025 Amended Development and Tax Increment Financing (TIF) Plan to allow Keego Harbor Tax Increment Finance Authority (TIFA) to continue to collect tax increment revenue to support projects within the TIFA District's Development Area. TIF supports economic development in Keego Harbor by investing the tax dollars collected from taxing jurisdictions and properties within the TIFA boundary, and reinvesting those tax dollars directly into the Development Area. As improvements in the Development Area are completed, property values in the TIFA boundary rise, leading to more property taxes collected, providing additional funding to support public improvements in the Development Area. [Map 5.1](#) provides the boundaries of the TIFA District in Keego Harbor and the Development Area where TIFA funds can be expended.

Development Area projects planned in the 2025 Amended Development and Tax Increment Financing Plan include road, street lighting, and streetscape improvements and road dieting interventions to support a vibrant downtown corridor on Cass Lake Road, a Façade Improvements Program for commercial businesses, and the addition of a public park along Dollar Lake. By implementing these projects, TIFA could see additional investment in the main commercial corridors of Keego Harbor.

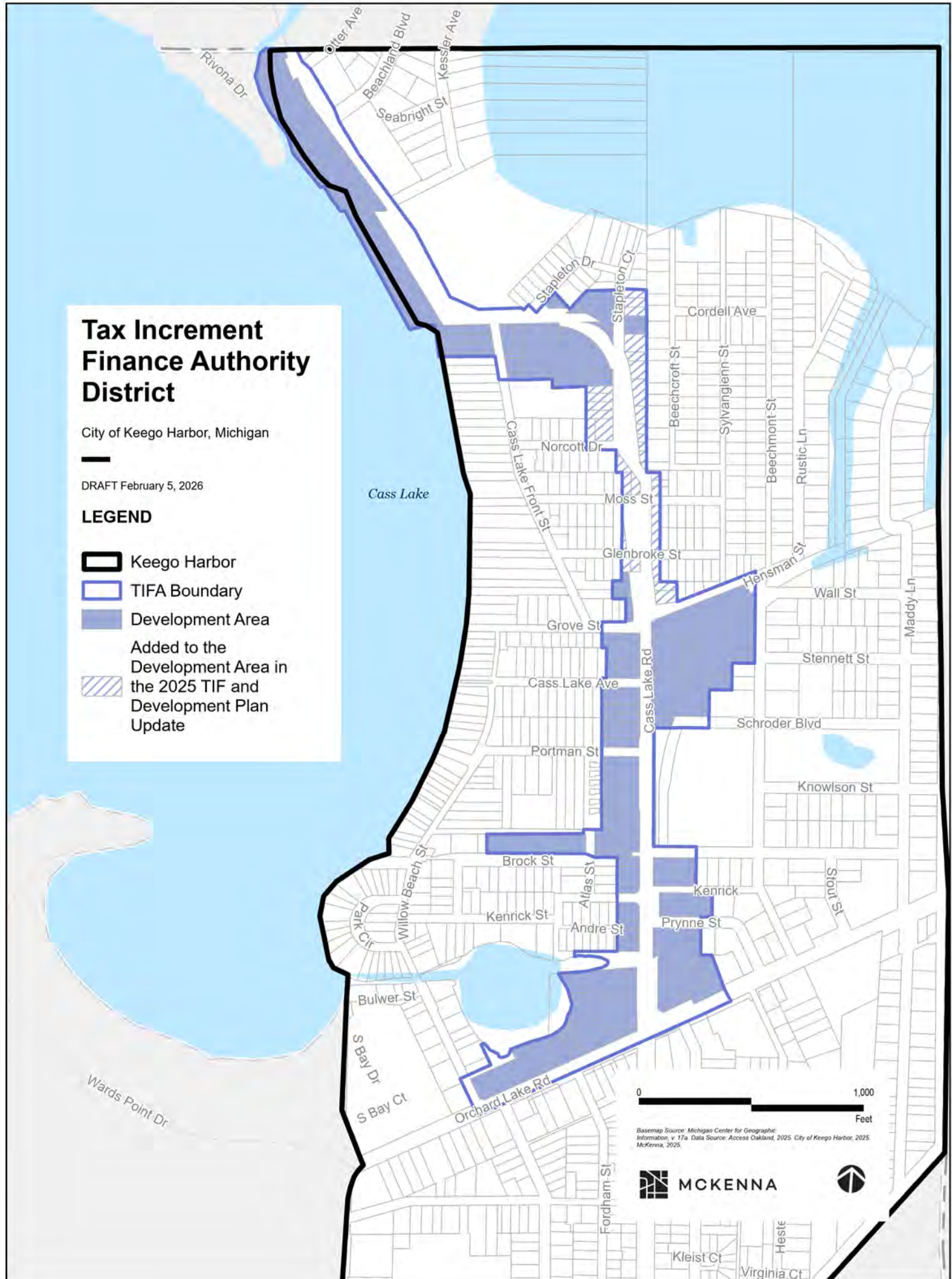
# Tax Increment Finance Authority District

City of Keego Harbor, Michigan

DRAFT February 5, 2026

## LEGEND

-  Keego Harbor
-  TIFA Boundary
-  Development Area
-  Added to the Development Area in the 2025 TIF and Development Plan Update



Basemap Source: Michigan Center for Geographic Information, v. 17a. Data Source: Aconex Oakland, 2025. City of Keego Harbor, 2025. McKenna, 2025.



## City-Owned Properties

Like TIFA, responsible use and development of City-owned properties is an important tool for economic development. The City can take advantage of smaller parcels to support placemaking and accessible public space in the community, while the City can work with developers on developing larger City-owned parcels in a way that helps the City achieve its development goals.

The City of Keego Harbor owns 42 properties within the City's boundaries. Several of these parcels are City parks and road or utility easements. However, some of these parcels could be improved in ways that could add amenities to neighborhoods. [Map 5.2](#) shows all City-owned properties in Keego Harbor and categorizes them to identify which ones could be improved to support economic development in the City.

In this case, improvable properties are defined as City-owned properties that are not parks that could be used for community benefit. 13 parcels were identified as being improvable. Some parcels may need to be combined with adjacent parcels to be able to improve their development potential. For some vacant lots that are too small to develop and are adjacent to residential homes, the highest and best use for the lot may be to sell the lot to the adjacent homeowner. Some lots could benefit from being turned into pocket parks with community seating.

Waterford Township

Rivona Dr  
Seabright St  
Kessler Ave

# City-Owned Property

City of Keego Harbor, Michigan

DRAFT February 5, 2026

## LEGEND

### City-Owned Property

-  Parks / Public Access
-  Improvable Property
-  Access / Utility Easements

Cass Lake

Sylvan Lake

Fisher Ave  
Beverly St  
Pleasant St

Wards Point Dr


Orchard Lake Village

Erie Dr  
Arrowdale Dr  
Indiantale Dr  
Superior Dr  
Commerce Rd

West Bloomfield Township



Basemap Source: Michigan Center for Geographic Information, v 17a. Data Source: Access Oakland, 2025, McKenna, 2025.

 MCKENNA

Lake Woc

Varrel Ct

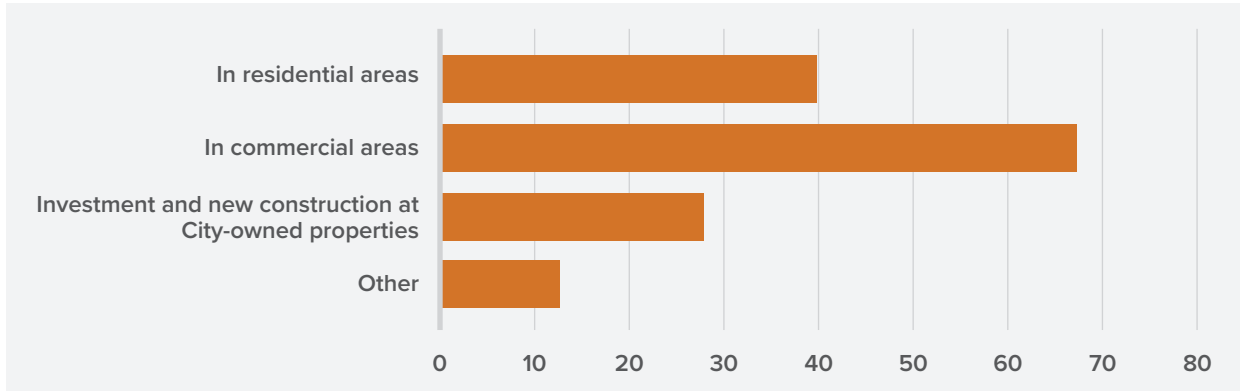
Woodrow Wilson Blvd  
Depew Dr  
Penna Dr  
Littleell Ave  
W Square Lake Rd



## Community Engagement

Questions and activities relating to economic development were discussed in the Master Plan Community Survey and Comment Map and the April 2025 Community Engagement Workshop. The following section provides analysis on the results of the community engagement activities relating to economic development.

**Q: In what areas should the City focus investment and new construction?**



Survey respondents felt that investment and new construction should be focused in commercial areas with 45.6% of respondents selecting this option. To address this, priority redevelopment sites are included in this chapter that supports investment and new construction in commercial areas.

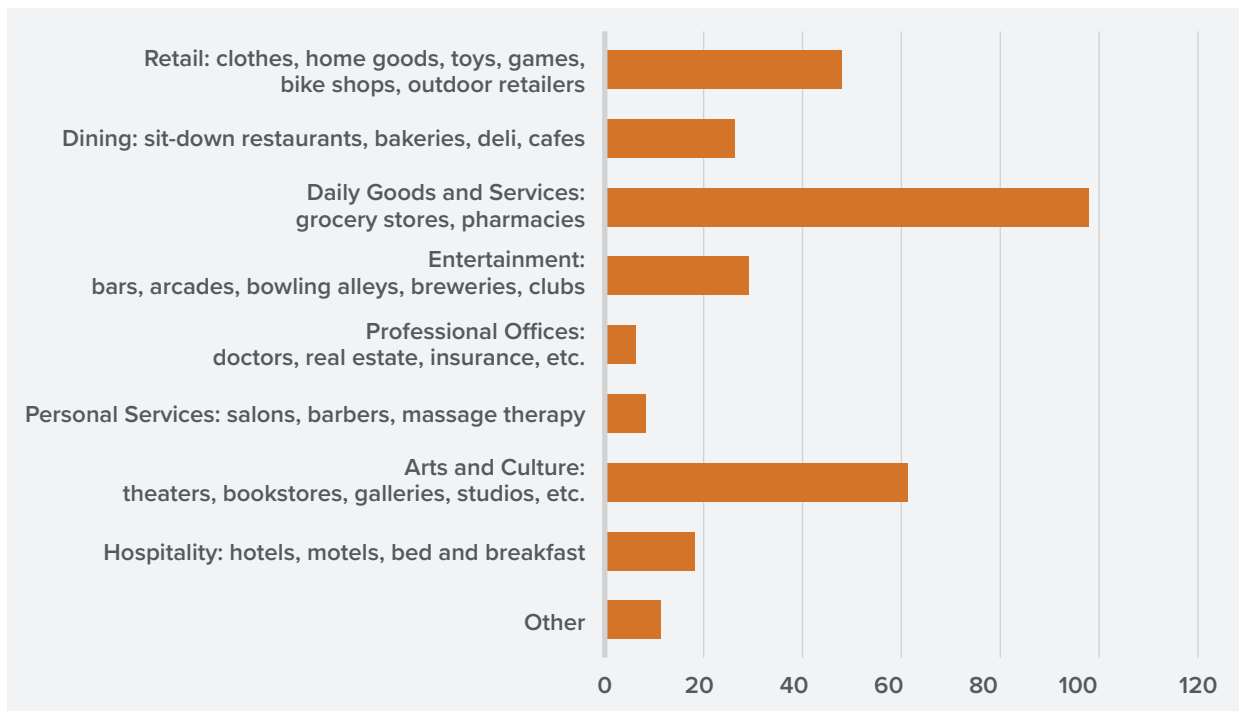
**Q: Which sites in Keego Harbor would you like to see redeveloped the most? Consider vacant or underutilized land or buildings.**

To summarize the responses to this open-ended question, all responses were placed in a word cloud generator. Words that were mentioned more frequently by survey respondents appear larger than words that were mentioned less frequently. Overall, respondents wanted to see vacancy along Orchard Lake Road and Cass Lake Road to be addressed, specifically at key sites like the City Corner Property and the former Rite Aid. Roosevelt Elementary School was also frequently mentioned as a priority redevelopment site. Repairing existing commercial buildings also appeared to be an important economic development priority for many survey respondents.



**Q: What types of businesses do you feel are missing from Keego Harbor?**

An important part of economic development is understanding what businesses are desired by residents and visitors in Keego Harbor. The top business options selected by survey respondents included “Daily goods and services: grocery stores, pharmacies” (32.1% of respondents), “Arts and culture: theaters, bookstores, galleries, studios, etc.” (20.0% of respondents), and “Retail: clothes, home goods, toys, games, bike shops, outdoor retailers” (15.7% of respondents). This information provides a basis for identifying the types of businesses the City should look to attract. These uses can also be kept in mind as the City plans a future for priority redevelopment sites in Keego Harbor. The vision for these sites are provided in detail in the following section.



## Priority Redevelopment Sites

The following priority redevelopment sites are sites that are in prominent locations, such as the Orchard Lake Road and Cass Lake Road intersection, or are vacant buildings in key locations where improved development and activation will support the economic vitality of the City.

The vision for most of these sites comes from the 2021 Cass Lake Road Village Plan. This plan, adopted by the Keego Harbor Tax Increment Finance Authority in 2021, provided land use, street configuration and streetscape, and urban design recommendations that are intended to transform the auto-oriented Cass Lake Road and Orchard Lake Road corridors into a vibrant, walkable downtown area. This vision was supported by retail and residential market studies identifying the potential increase in demand for retail and residential space if a walkable downtown was created.

### Corner Property

#### DESCRIPTION

Located at the prime Orchard Lake Road and Cass Lake Road corner, this site is a key part of creating a vibrant downtown area in Keego Harbor. The City aims for a downtown-style mixed-use site complete with pedestrian seating and other amenities, publicly-available parking, and attractive landscaping at this site. The site will be developed to the standards for the Village Overlay District. A mixed-use development will improve the City's tax base through desirable commercial and residential space.

Alternatively, the City would support more dense development of this site to include additional downtown-style commercial buildings with residential use on upper floors to increase the City's tax base.

Either proposal provides new life for this long-vacant parcel by adding desirable commercial space that will support Keego Harbor's tax base.

#### ADDRESS

2980 Orchard Lake Road

#### CURRENT ZONING

C-2 General Business, Village Overlay District, Central Business District Context Zone

#### FUTURE LAND USE

Central Business District

#### ACREAGE

0.62 acres



**Figure 5.1** The Corner Property in 2023 as shown on Oakland County Property Gateway



**Figure 5.2** Concept rendering illustrating desirable development of the Corner Property. Here, the building is constructed close to the street, features large, transparent windows that attract shoppers to storefronts, and promotes placemaking through its signage, which is reminiscent of the marquis of the Keego Theatre.

## Roosevelt Elementary School

### DESCRIPTION

In 2022, the West Bloomfield School District closed the former Roosevelt Elementary School, which had served students in the community since 1920. Demolition of the school building began in December of 2025. Redevelopment of this site should include uses, spaces, and building forms that contribute to a vital Cass Lake Corridor, such as pedestrian-oriented commercial or mixed-use (residential over commercial) buildings fronting Cass Lake Road, public community space, and/or appropriately scaled and arranged residential units. This type of redevelopment would support the City by creating a community space, which the City currently lacks, attract more residents through high-quality residential development that is connected to neighborhood amenities and services, and provide additional commercial space in Keego Harbor. Rezoning is likely necessary to accomplish this vision for the Roosevelt Elementary School site.

### ADDRESS

2065 Cass Lake Road

### CURRENT ZONING

NR Neighborhood Residential, Village Overlay District, Cass Lake Road Context Zone

### FUTURE LAND USE

Central Business District (CBD)

### ACREAGE

4.43 acres



**Figure 5.3** An aerial of the Roosevelt Elementary School site in 2023 as shown by Oakland County Property Gateway.



**Figure 5.4** Roosevelt Elementary School as pictured in April 2025.

## Rite-Aid

### DESCRIPTION

This former Rite-Aid along Dollar Lake is another important parcel that will define the commercial character of Keego Harbor. The 2021 Cass Lake Road Village Plan envisions that this property will continue to be commercial in nature. The building could potentially be reoccupied or modified to appropriately contribute to the Cass Lake Rd. Corridor. Any future redevelopment of this site that involves new buildings should site the building closer to the street to encourage pedestrian activity, locate parking, preferably public, behind the building, and provide pedestrian amenities such as street furniture and bicycle racks. In comparison with this vision, this building is set back significantly from the street, locates private parking in front and on the sides of the building, and is sunken below the street grade, closing the site off from pedestrian activity.

### ADDRESS

3000 Orchard Lake Road

### CURRENT ZONING

C-2 General Business; Village Overlay District, Central Business District Context Zone

### FUTURE LAND USE

Central Business District

### ACREAGE

1.05 acres



**Figure 5.5** The vision for 3000 Orchard Lake Road in the 2021 Cass Lake Road Corridor Plan compared to the existing conditions at the site.

## 2224 Beechmont Street

### DESCRIPTION

Currently the site of Shecter Landscaping, these two parcels make up the largest residential opportunity site in Keego Harbor. They are surrounded by other residential properties. The high-intensity of the site's current use often impacts the surrounding neighborhood.

To ensure the use of these large parcels meets the needs of the greater community and has a better relationship with adjacent neighborhoods, this Master Plan recommends that any potential future redevelopment of this site includes for multiple-unit residential development. This development could include Missing Middle housing types, such as a cottage court development, small apartment buildings, or other residential configurations that promote density while capturing the quant lake town feel in Keego Harbor.

### ADDRESS

2224 Beechmont Street

### CURRENT ZONING

NR Neighborhood Residential

### FUTURE LAND USE

Multiple-Unit Residential

### ACREAGE

5.83 acres

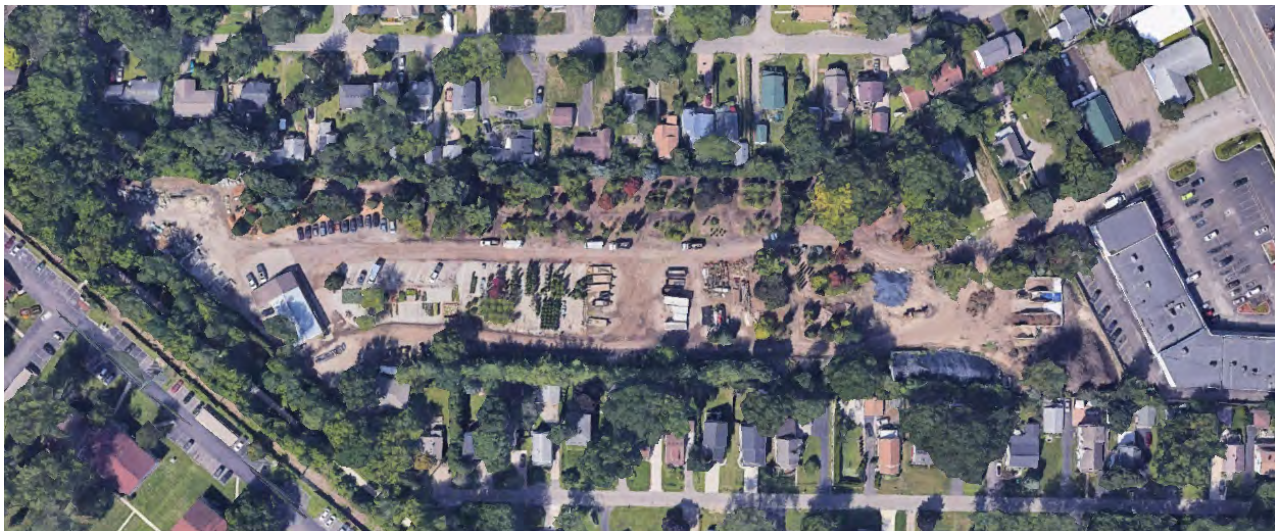


Figure 5.6 Shecter Landscaping

## 3170 Orchard Lake Road

### DESCRIPTION

The Keego Harbor Manufactured Housing Community is located at the edge of the municipality's boundary touching the banks of Cass Lake. While this future land use category supports the continuation of this community, any potential future redevelopment of the site should consider the inclusion of multi-family residential and/or 'Missing Middle' housing types (such as townhomes, duplexes, or triplexes) that are appropriately sited in relation to Cass Lake. Buildings should be adequately set back from the shoreline to protect this important natural resource. Community space along the waterfront should also be provided, whether that community space is for residents of the complex only, or for the larger Keego Harbor community.

### ADDRESS

3170 Orchard Lake Road

### CURRENT ZONING

RMH Mobile Home Park

### FUTURE LAND USE

Multiple-Unit Residential

### ACREAGE

5.1 acres



**Figure 5.7**

Keego Harbor Manufactured Housing Community.

## 1985 Cass Lake Road Parking Lot

### DESCRIPTION

The site of the parking lot behind the former Santia Banquet Center has been contemplated for redevelopment, as the expansive lot has significantly more parking than required for most commercial land uses. While some parking would be maintained to support commercial use on Cass Lake Road, the rear portion of this parking lot on the corner of Hensman Steet and Beechmont Street could be split off to support multiple-unit residential development, creating a vibrant, mixed-use environment.

### ADDRESS

1985 Cass Lake Road

### CURRENT ZONING

P-1 Parking, Village Overlay District, Cass Lake Road Context Zone

### FUTURE LAND USE

Multi-Unit Residential

### ACREAGE

1.99 acres  
(Total Property)



**Figure 5.8** 1985 Cass Lake Road currently has an excess of parking for most commercial uses, as shown in the above aerial. A portion of this parking lot could be split and redeveloped into multiple-unit residential development.

# 06

## Transportation and Mobility

The following chapter provides data on the existing nonmotorized and motorized transportation system in Keego Harbor, formalizes the vision for Cass Lake Road from the 2021 Cass Lake Road Village Plan into the Master Plan, provides takeaways relating to transportation from the public engagement process, and lists transportation resources the City may pursue to implement the vision outlined in this Master Plan.

## Existing Transportation Analysis

To determine Transportation and Mobility priorities for Keego Harbor, understanding the existing conditions of transportation is key. The following section details existing transportation conditions in Keego Harbor.

**Table 6.1** Number of Vehicles Available per Household, Keego Harbor, 2023

NUMBER OF VEHICLES AVAILABLE PER HOUSEHOLD	NUMBER	PERCENT
No vehicles available	86	6.6%
1 vehicle available	614	47.2%
2 vehicles available	456	35.1%
3 or more vehicles available	144	11.1%
Occupied housing units	1,300	100%

Source: US Census American Community Survey, 2023 5-year Estimates

93.4% of households have at least one vehicle available. Meanwhile, 6.6% of households do not have a vehicle available. To support households in Keego Harbor that do not have a vehicle available, and to encourage multi-modal transportation in Keego Harbor, the City could consider a number of transportation interventions that support public transportation and non-motorized transportation. Non-motorized transportation offers a strong community benefits, including promoting community health, reducing the environmental impacts of vehicle use, and creating a vibrant community for residents and businesses by offering multiple modes of transportation.

## Traffic Volume

Traffic volume measures daily traffic on Keego Harbor’s major roads, specifically Cass Lake Road and Orchard Lake Road. Traffic volume is typically measured by the average annual daily traffic metric. AADT is calculated by taking the total volume of vehicle traffic throughout the year and dividing it by 365 days to get an average daily traffic volume. This metric is important to understand if the existing road infrastructure meets travel demand and to plan for road and infrastructure improvements. [Table 6.2](#) provides the AADTs for different sections of Cass Lake Road and Orchard Lake Road.

**Table 6.2** Average Annual Daily Traffic, 2023

LOCATION	CASS LAKE ROAD FROM ORCHARD LAKE ROAD TO WATERFORD TOWNSHIP BORDER	ORCHARD LAKE ROAD FROM WEST BLOOMFIELD TRAIL TO COMMERCE ROAD	ORCHARD LAKE ROAD FROM COMMERCE ROAD TO CASS LAKE ROAD	ORCHARD LAKE ROAD FROM CASS LAKE ROAD TO SYLVAN LAKE BORDER
Average Annual Daily Traffic (AADT)	15,024	16,376	25,453	27,290

Source: SEMCOG, 2023

Overall, Orchard Lake Road experiences higher traffic volumes than Cass Lake Road. With an AADT of 15,024, Cass Lake Road may be a great candidate for road diet interventions, especially on the five lane section of Cass Lake Road.

## National Functional Road Classification

National Functional Classification (NFC) of a community’s roads are an important aspect of transportation planning. NFC indicates the types of travel served by different roadways and determines which roadway projects are eligible for federal funding. [Map 6.1](#) shows the functional road classifications of all roads in Keego Harbor. Most roads in Keego Harbor are local roads. Local roads serve as travel routes within neighborhoods and are generally not meant for through traffic. Local roads typically connect to larger arterials that direct travel through a city.

Orchard Lake Road and Cass Lake Road are considered “other principal arterials”, which serve as the main corridors through the community and between commercial and residential areas. As principal arterials, Orchard Lake Road and Cass Lake Road are the only roads in the City eligible for federal funding.

Keego Harbor has some private roads in some subdivisions in the City and in the Keego Harbor Manufactured Housing Community. These roads are privately maintained by homeowners associations or similar organizations rather than the City.

**Waterford Township**

# National Functional Classification

City of Keego Harbor, Michigan

DRAFT February 5, 2026

## LEGEND

### National Functional Classification

-  Interstate Freeway
-  Other Freeway
-  Other Principal Arterial
-  Minor Arterial
-  Major Collector
-  Minor Arterial
-  Local Road
-  Uncertified / Private Road

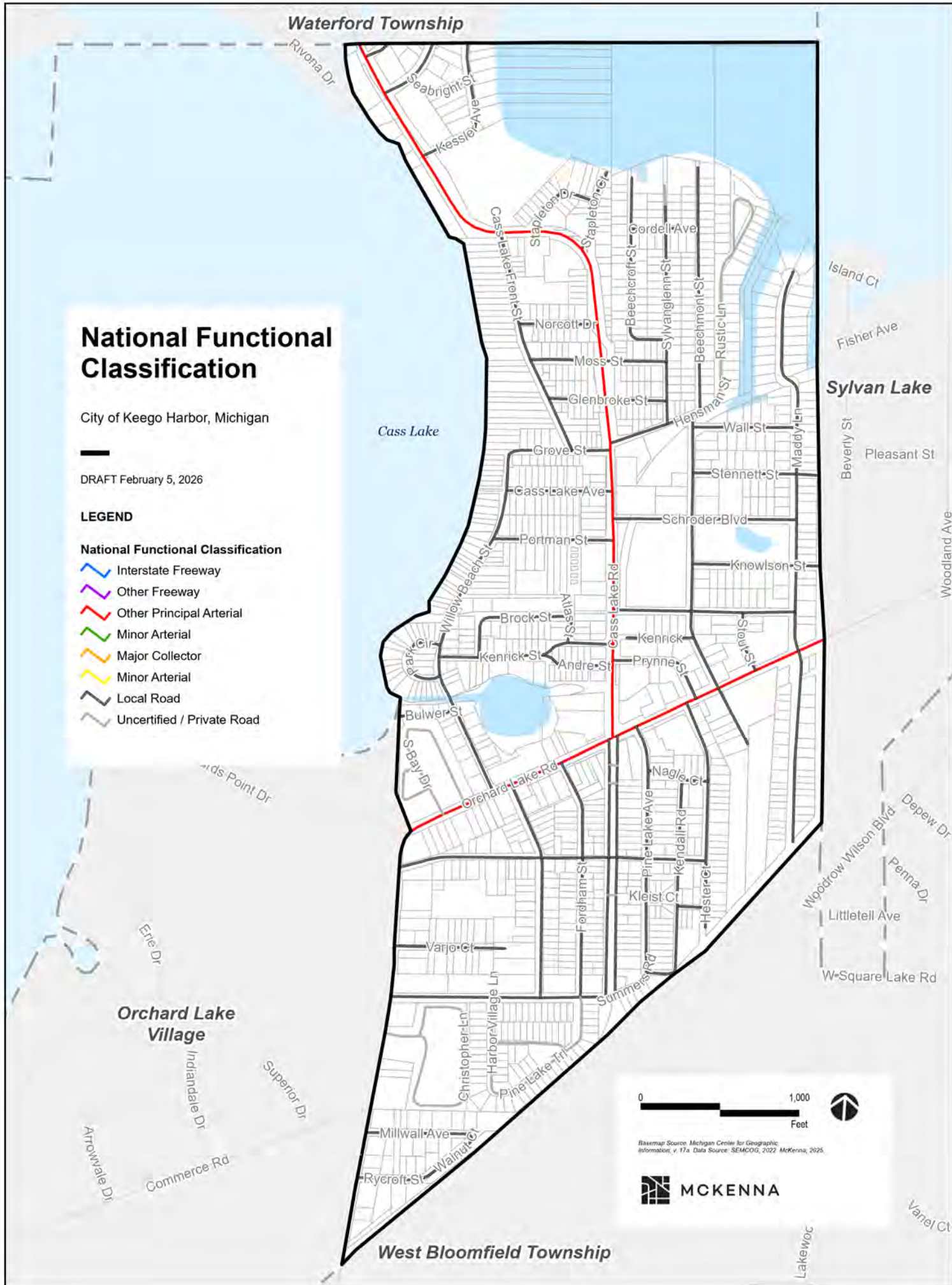
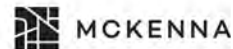
Cass Lake

**Sylvan Lake**

**West Bloomfield Township**

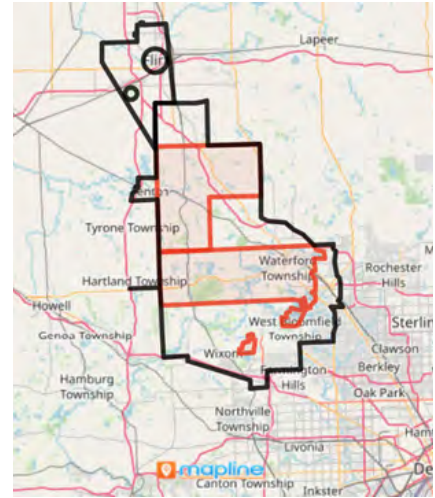


Basemap Source: Michigan Center for Geographic Information, v 17a Data Source: SEMCOG, 2022 McKenna, 2025



## Existing Public Transportation System

Keego Harbor has limited access to public transportation services. The Suburban Mobility Authority for Regional Transportation (SMART) services the greater Southeast Michigan area. However, SMART does not have a fixed route bus service within Keego Harbor. The Western Oakland Transportation Authority (WOTA) offers door-to-door public transportation services for a small fee to all Keego Harbor residents. This service is especially useful for seniors and disabled residents for transportation to medical appointments, the grocery store, and other activities of daily living both within and outside of Keego Harbor. **Figure 6.1** shows WOTA's service area, demonstrating the reach of their door-to-door transit service.



**Figure 6.1** West Oakland Transportation Authority Service Area

## Existing Non-Motorized Transportation System

Keego Harbor has an almost complete network of approximately five-foot sidewalks on Cass Lake and Orchard Lake Roads, with the exception of a sidewalk gap on the north side of Orchard Lake Road between Prynne and Stout Streets. Some local subdivisions and condominium associations, such as the Harbor Village Subdivision and the Sylvan Lake Condominium Association, have complete sidewalk networks in their neighborhoods as well. Some incomplete sidewalk segments are located throughout the City, such as on Summers Road, Millwall Avenue, and Beachland Boulevard.

The majority of crosswalks in Keego Harbor are unmarked. Unmarked crosswalks include street crossings where the grade slopes to meet the street to allow pedestrians to cross, but lack painted stripes, a crossing signal, or signage that makes the crossing noticeable to vehicles. Three out of the four available crosswalks at the intersection of Orchard Lake and Cass Lake Roads are marked, and one marked crosswalk exists on Cass Lake Road just south of Portman Street.

While Keego Harbor does not have any bike lanes in its jurisdiction, the West Bloomfield Trail runs along the City's southern border. Keego Harbor residents have easy access to the West Bloomfield Trail through Tate-Optimist Park, Hester Court Park, and at the end of Maddy Lane to bike or walk the 6.8 mile trail and linear park. Keego Harbor has an opportunity to attract trail users to visit Keego Harbor by adding wayfinding signage for destinations in Keego Harbor at its connections to the West Bloomfield Trail.



**Figure 6.2** The West Bloomfield Trail runs along Tate-Optimist Park, providing residents and visitors to an easily accessible bike and walking trail.

**Map 6.2** shows the existing sidewalks and marked and unmarked crosswalks in Keego Harbor, as well as the West Bloomfield Trail. Additionally, **Map 6.2** shows potential bicycle paths suggested by the Southeastern Michigan Council of Governments (SEMCOG). This suggested bicycle path was developed as part of the planning process for SEMCOG’s Bicycle and Pedestrian Mobility Plan for Southeast Michigan, adopted in March of 2020. Along with this suggested bicycle infrastructure, this Plan also includes recommended best practices for universal design, Complete Streets, micromobility, among other topics.

**Waterford Township**

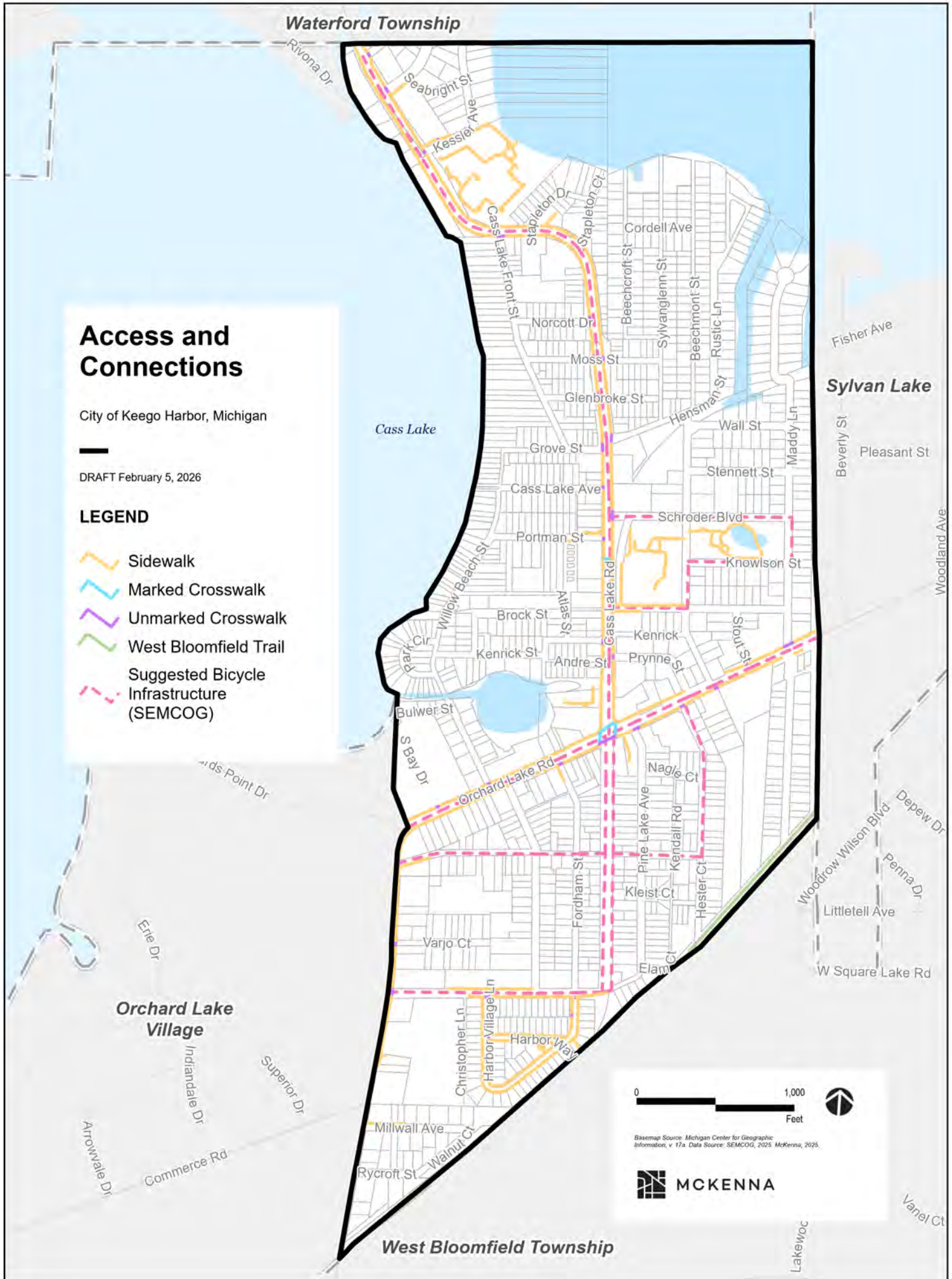
# Access and Connections

City of Keego Harbor, Michigan

DRAFT February 5, 2026

## LEGEND

-  Sidewalk
-  Marked Crosswalk
-  Unmarked Crosswalk
-  West Bloomfield Trail
-  Suggested Bicycle Infrastructure (SEMCOG)



Basemap Source: Michigan Center for Geographic Information, v 17a. Data Source: SEMCOG, 2025 McKenna, 2025.



**West Bloomfield Township**

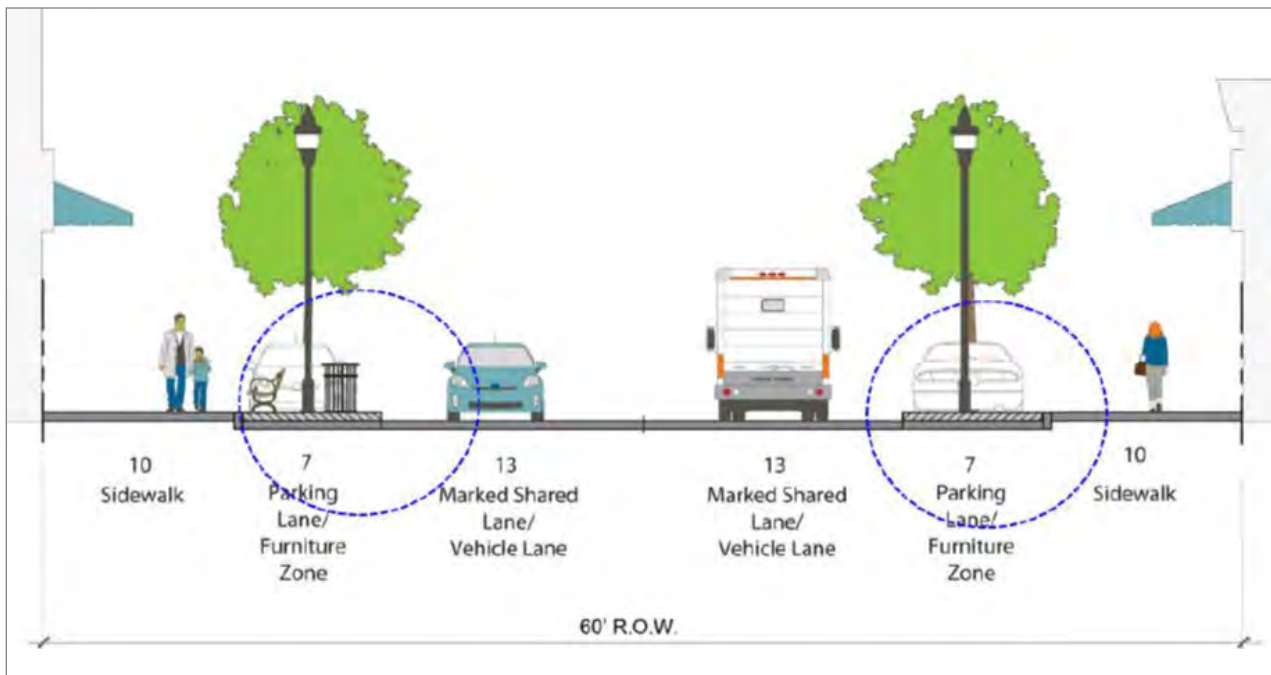
## Relevant Local and Regional Plans

### Cass Lake Road Village Plan

Seeing the potential for the Cass Lake Road Corridor as a more walkable, vibrant downtown area, the City's TIFA Board worked with Gibbs Planning Group to create the 2021 Cass Lake Road Village Plan. This Plan offered some redevelopment concepts for priority properties in the TIFA District, and street cross sections showing different configurations of Cass Lake Road that allowed for varying amounts of on-street parking. The redevelopment of Cass Lake Road and accommodation of on-street parking will be an important intervention to slow down speeds on Cass Lake Road, improving the safety of nonmotorized transportation users.

**Figure 6.3** shows one of the cross sections of a potential Cass Lake Road configuration. While the current Cass Lake Road right-of-way is approximately 40 feet wide, this recommended configuration expands the road right-of-way to 60 feet to accommodate recommended road improvements. This cross section recommends that the existing sidewalks on Cass Lake Road are widened to ten feet, providing ample space for two-way pedestrian traffic and improved accessibility and pedestrian safety. The cross section also notes a seven-foot parking lane/street furniture zone on each side of Cass Lake Road. The City can opt to have one zone as on-street parking and one zone as a street furniture zone, or both zones as on-street parking.

**Figure 6.3** Proposed Cass Lake Road Cross Section

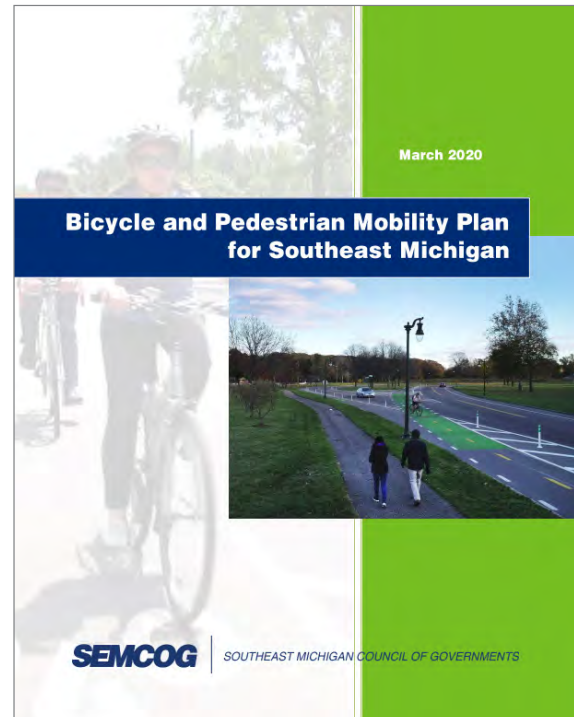


While the Cass Lake Road Village Plan provided a strong conceptual vision for this area, it lacked recommendations for implementation. As part of the Implementation Plan in [Chapter 9](#), this Master Plan provides recommended strategies that can help the City achieve some of the recommendations in the Cass Lake Road Village Plan while furthering the goals and objectives detailed in [Chapter 3](#) of this Plan.

## SEMCOG's Bicycle and Pedestrian Mobility Plan for Southeast Michigan

SEMCOG adopted their Bicycle and Pedestrian Mobility Plan for Southeast Michigan in 2020. The Plan outlines regional priorities based on current bicycle and pedestrian mobility conditions. Local implementation strategies, infrastructure guidelines, and funding and maintenance best practices are also included. The Plan was guided by the following regional policies<sup>1</sup>:

1. **Connect and expand the network** of walking and biking infrastructure in the region to provide a safe, comfortable, and convenient experience for people of all ages and abilities.
2. **Ensure equitable access** to core services and regional destinations for pedestrians and bicyclists, including connections to other transportation modes.
3. **Increase safety for pedestrians and bicyclists** with systemic approaches to roadway design, traffic operations, education, and enforcement.
4. **Promote healthy lifestyles and vibrant communities** with expanded options for pedestrian and bicycle mobility, recreation, and tourism.
5. **Provide education** to encourage broader participation and awareness of walking and biking issues.
6. **Ensure the sustainability** of the bicycle and pedestrian network with collaborative planning and adequate funding for development and maintenance.



Through this planning process, several suggested bicycle paths around the region were developed. Bicycle paths suggested in Keego Harbor are shown in [Map 6.2](#) on the previous page.

<sup>1</sup> Southeast Michigan Council of Governments. *Bicycle and Pedestrian Mobility Plan for Southeast Michigan*. Mar. 2020., p.2

## SEMCOG's Vision2050 Regional Transportation Plan

The primary goal of this Plan is to grow and manage Southeast Michigan's multimodal transportation system in a way that centers equity so that all Southeast Michiganders have access to quality transportation. Vision2050 also addresses the impacts of emerging technologies, such as electric vehicle (EV) infrastructure. The Plan's project list includes \$38 billion dollars of transportation system improvements, with \$100 million of those dollars being allocated towards road operations, safety enhancements, bridge repairs, capacity changes, and non-motorized infrastructure<sup>2</sup>. These improvements are guided by seven policies to create a safe and equitable transportation system, which include<sup>3</sup>:

1. **Education:** Educate and foster collaboration among local governments, transportation agencies, utility providers, and residents to enhance knowledge about and efficiency of the transportation system.
2. **Equity:** Ensure equitable access regardless of age, race, gender, ethnicity, national origin, physical or cognitive ability, or income.
3. **Funding:** Increase funding and broaden local options to ensure adequate resources and coordination for meeting regional transportation needs to achieve fiscal sustainability.
4. **Preservation:** Use asset management practices, technology, and cost-effective transportation solutions to preserve infrastructure.
5. **Resilience:** Integrate infrastructure coordination, equitable stormwater management, and comprehensive resiliency planning into the transportation system to achieve greater public health and environmental benefits.
6. **Safety:** Increase safety for all travelers, especially the most vulnerable road users.
7. **Shared Prosperity:** Promote a thriving regional economy by facilitating seamless movement of goods, efficient trade connections, enhancing labor mobility, and fostering tourism and local placemaking.



The vision for Cass Lake Road detailed in the 2021 Cass Lake Road Village Plan furthers several of SEMCOG's goals in the Vision2050 Plan. The addition of on-street parking will improve safety for all modes of transportation by improving buffering between moving traffic and the pedestrian realm. These improvements will also enhance shared regional prosperity by encouraging tourism and creating a sense of place, driving further economic growth to Keego Harbor and the region.

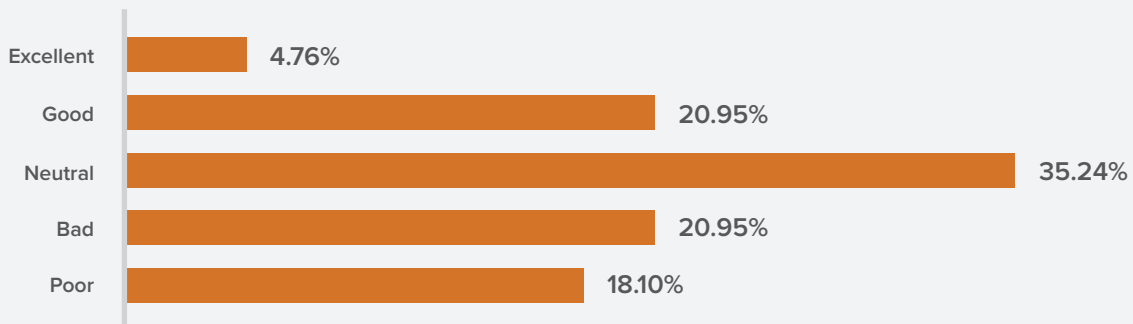
<sup>2</sup> Southeast Michigan Council of Governments. *Vision 2050: Regional Transportation Plan for Southeast Michigan*. June 2024., p.3

<sup>3</sup> Southeast Michigan Council of Governments, *Vision 2050: Regional Transportation Plan for Southeast Michigan*, p.2

## Community Engagement

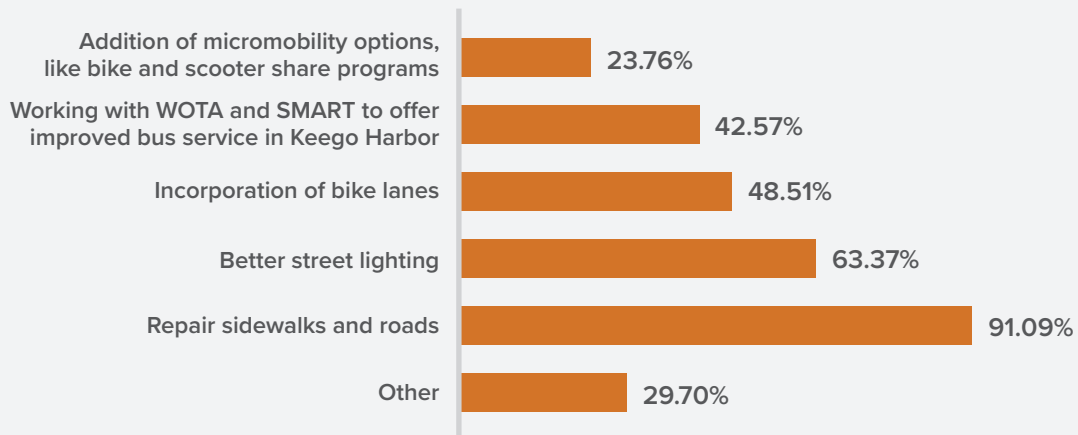
To understand how Keego Harbor residents, business owners, and visitors currently use transportation to meet their daily needs and identify transportation improvements that would be most impactful, several questions and prompts regarding transportation were asked in the Community Survey and the online Comment Map. Additionally, the April 2025 Community Workshop offered a “Pedestrian and Bicycle Infrastructure” activity to encourage the community to think about specific locations for pedestrian and bicycle infrastructure improvements. The following section outlines results and takeaways from these community engagement activities.

### How would you rate access in Keego Harbor by walking, biking, or public transportation to daily activities and errands, such as grocery stores, banks, and other establishments?



Respondents of the Community Survey had varied ratings on their access to daily activities by public transportation. Respondents largely felt “Neutral” about their access to daily activities (37 responses, 35.24%). An equal amount of survey respondents rated their access as either “Good” or “Bad” (22 responses, 20.95%). Only 4.76% of respondents rated their access to daily activities by public transportation as “Excellent”. This suggests that a robust transportation system that offers opportunities to walk, bike, bus, or drive to activities of daily living would meet the needs of Keego Harbor residents and visitors.

### Which improvements to our transportation system would be most important to you? Choose your top 3 options.



Respondents were most concerned with improved maintenance of the current transportation system, with 91.09% of respondents selecting this option. “Better street lighting” was the second most selected option by respondents (63.37%), followed by the incorporation of bike lanes (48.51%).

## Transportation Planning and Funding Tools

### Transportation Alternatives Program (TAP)

The Transportation Alternatives Program (TAP) is a federally-funded program that supports local transportation improvement projects. SEMCOG administers TAP funding for Oakland County and the larger Southeast Michigan area. Eligible projects for TAP funding include pedestrian and bicycle infrastructure projects, including new shared-use paths, pedestrian-scale lighting, and similar projects. This program also supports Green Infrastructure projects to address water runoff issues and to improve water quality.

TAP funding has been used to fund dozens of transportation improvement projects across Southeast Michigan and the State as a whole. One of many examples includes the Livernois Complete Streets project, which installed on-street parking, bicycle lanes, buffer lanes, mid-block crosswalks with bump outs, off road bicycle storage facilities, and closed driveways on Livernois between 8 and 9 Mile Roads. SEMCOG awarded \$132,985 of TAP funding for the project with a local match of 28%.



**Figure 6.4** The Complete Streets project on Livernois between 8 and 9 Mile Roads funded by TAP included bike lanes among other improvements.

**Source:** SEMCOG, 2025

## Safe Streets and Roads for All (SS4A)

The Safe Streets and Roads for All (SS4A) is a federal grant program that provides funding to local units of government, Tribal governments, and metropolitan planning organizations (MPOs) to develop an eligible SS4A Action Plan or to implement projects identified in a community's SS4A Action Plan. SS4A funding aims to reduce serious-injury and fatal accidents by improving roadway safety for all modes of transportation. To receive grant funding for an implementation project, the community must have an approved SS4A Action Plan.

The City of Detroit is using SS4A funding for several projects across the City, encompassing a total of 31 miles of road improvements. Several projects mirror what Keego Harbor aims to accomplish for Cass Lake Road. For example, Detroit is proposing to use SS4A funding on one of their commercial corridors, Wyoming Avenue from Oakman Boulevard to 7 Mile Road, to add curb extensions, high-visibility crosswalks, road narrowing at specific locations, left turn traffic calming, and other interventions to reduce instances of speeding and improve overall safety. Keego Harbor should consider developing a SS4A Action Plan to be able to utilize this funding for future implementation projects.



**Figure 6.5** The City of Detroit is using SS4A funding to implement several traffic calming measures on Wyoming Avenue, with construction expected to begin in 2026. The above photo shows the existing conditions of Wyoming Avenue.

**Source:** City of Detroit, 2025

## Tax Increment Finance Authority (TIFA) Bonds

In addition to using TIF funds to support improvements to Cass Lake Road, TIFA can also take out bonds that are repaid with future TIF revenue to fund these projects. TIFA has previously incurred bond indebtedness from Michigan Transportation Fund Bonds to fund the widening of Cass Lake Road and make improvements to the Cass Lake Road and Orchard Lake Road intersection. This debt was paid off in December of 2024. TIFA can take out additional bonds with approval from City Council to help fund the improvements identified in the 2021 Cass Lake Road Village Plan.



07

**Public Infrastructure,  
Facilities and Services**

Public infrastructure, community facilities, and municipal services are one of the most visible signs of a community’s health. The conditions and availability of parks and recreation equipment, the accessibility to services such as police and fire, availability of special programs for youth and seniors, and the maintenance of roads and public facilities all reflect on the overall quality of life within a community. The City of Keego Harbor residents rely on several public and private entities, including the City government, for the provision of their public infrastructure and services. The following chapter outlines the existing condition of public infrastructure and services in Keego Harbor and provides recommendations to support improvements.

## City Hall Complex



Keego Harbor’s City Hall Complex

Keego Harbor’s City Hall complex is located on Beechmont Street in the heart of the City. It includes the City Hall (constructed in 2008) and the Department of Public Works (constructed in 1968) surrounding Rose Sortor Park.

The City constructed a new City Hall with adequate space for the administrative functions of the City and the Police departments. The Department of Public Services is located on the east side of the City Hall complex.

## Parks and Recreation

The City's existing parks and recreation facilities, as well as their needs, were explored more in depth through their Parks and Recreation Master Plan, adopted on January 19, 2023. In general, the City has adequate land for parks to serve its population. However, there is a demand for improved equipment at the parks, more parks located in the northern third of the City, and more usable public lakefront access for residents of the community.

There are currently five neighborhood parks, two pocket parks with beaches, five pocket parks, and one boat launch for a total of 13 public parks and recreation facilities within the City of Keego Harbor. These parks, public swim sites, and private parks include the following:

### BAXTER-MORGAN PARK

Located on Pridham Street, Baxter-Morgan Park includes amenities like soccer nets, a disc golf course, a shelter for gatherings and small events, playground equipment, and benches. At 2.53 acres, Baxter-Morgan is one of the larger parks in Keego Harbor.



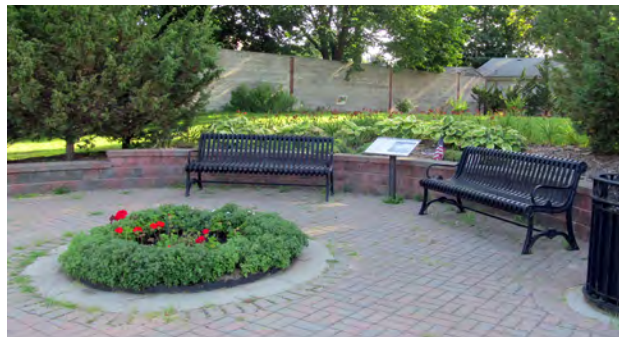
Baxter-Morgan Park

### DOLLAR LAKE WATERFRONT ACCESS AND BOAT LAUNCH

The City maintains a public boat launch on the southern end of Dollar Lake off of Willow Beach Street. A key for the boat launch can be picked up at Keego Harbor City Hall. Additionally, small amounts of waterfront access exist on the north side of Dollar Lake off Andre Street and Kenrick Street.

### FIRE FIGHTER'S PARK

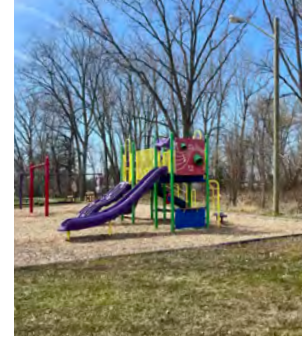
Firefighter's Park is a pocket park on the corner of Cass Lake Road and Hensman Street that offers pedestrian-scale seating and landscaping with access to the sidewalk along Cass Lake Road.



Fire Fighter's Park

### FRAN LEAF PARK

Amenities at Fran Leaf Park include a play structure and swing set, a shelter, picnic tables, and bench seating. Additionally, Fran Leaf Park has canal access, offering a serene water feature. The Park is one of few in the City with a designated parking lot, making it a great gather place for community events.



Fran Leaf Park

### GROVE STREET SWIM SITE

The Grove Street Swim Site is a narrow park with beach access, picnic tables, and a grill. This swim site is located on the corner of Grove Street and Willow Beach Street.

### HESTER COURT PARK

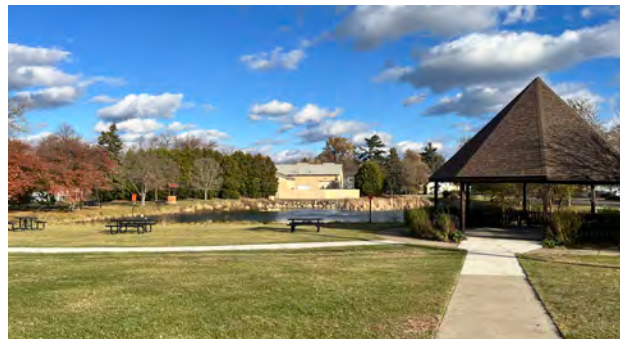
Hester Court Park offers playground equipment, a large playing field, a picnic shelter with tables, and bike racks. Parking for six to eight cars is available on site. Hester Court Park also offers direct access to the West Bloomfield Trail, which connects this park to other recreational amenities in the region.



Hester Court Park

### ROSE SORTOR PARK

Rose Sortor Park is within the City Hall Complex and includes a picturesque pond and landscaping, a walking loop around the pond, and bench swings. Residents frequently enjoy fishing at the Park during summer months.



Rose Sortor Park

## SUNSET PARK

Sunset Park is a small pocket park on the west side of Cass Lake Road in the northern portion of the City. The remaining parcel is privately owned by the Sylvan Lake Condominium Association. Sunset Park is primarily used as a resting place for walkers and bikers along Cass Lake Road. Visitors can use the benches to enjoy the view of Cass Lake.



Sunset Park

## TATE-OPTIMIST PARK

Tate-Optimist Park includes play equipment for children, picnic benches, and a picnic shelter. Like Hester Court Park, Tate-Optimist Park offers access to the West Bloomfield Trail on the southern boundary of the park.



Tate-Optimist Park

## VETERANS' MEMORIAL PLAZA

Veterans' Memorial Plaza includes seating and benches, a large boulder that honors the region's veterans, and landscaping. This plaza also serves to turn Cass Lake Road into a boulevard south of Orchard Lake Road, which helps to slow vehicle speeds as travelers continue south. Keego Harbor's Memorial Day Parade typically begins at the Plaza.



Veterans' Memorial Plaza

### WEBB PARK

Located along Cass Lake Road as the road curves towards Waterford Township, Webb Park offers benches for pedestrians and cyclists to rest and enjoy the park's landscaping.



Webb Park

### WILLOW BEACH STREET SWIM SITE

Located on Willow Beach Street just north of Kenrick Street, the Willow Beach Swim Site is a narrow linear park stretching along the canal to Cass Lake. The site offers a picnic table and a grill that is perfect for beach days. A footbridge over the canal connects the swim site to neighborhoods immediately north of the site.



Willow Beach Street Swim Site

## West Bloomfield Trail

While not operated by Keego Harbor, the West Bloomfield Trail runs along the southern border of the City and connects to two City parks, highlighting the Trail’s importance as a recreational amenity for residents. The West Bloomfield Trail runs for over six miles through West Bloomfield, Orchard Lake, Keego Harbor, and Sylvan Lake. Parking areas, restrooms, water fountains, and a bike repair station are scattered at trailheads along the Trail.

Figure 7.1 is a map from the West Bloomfield Parks and Recreation Commission showing the length of the West Bloomfield Trail, connections to other trails, and points of interest along the Trail.

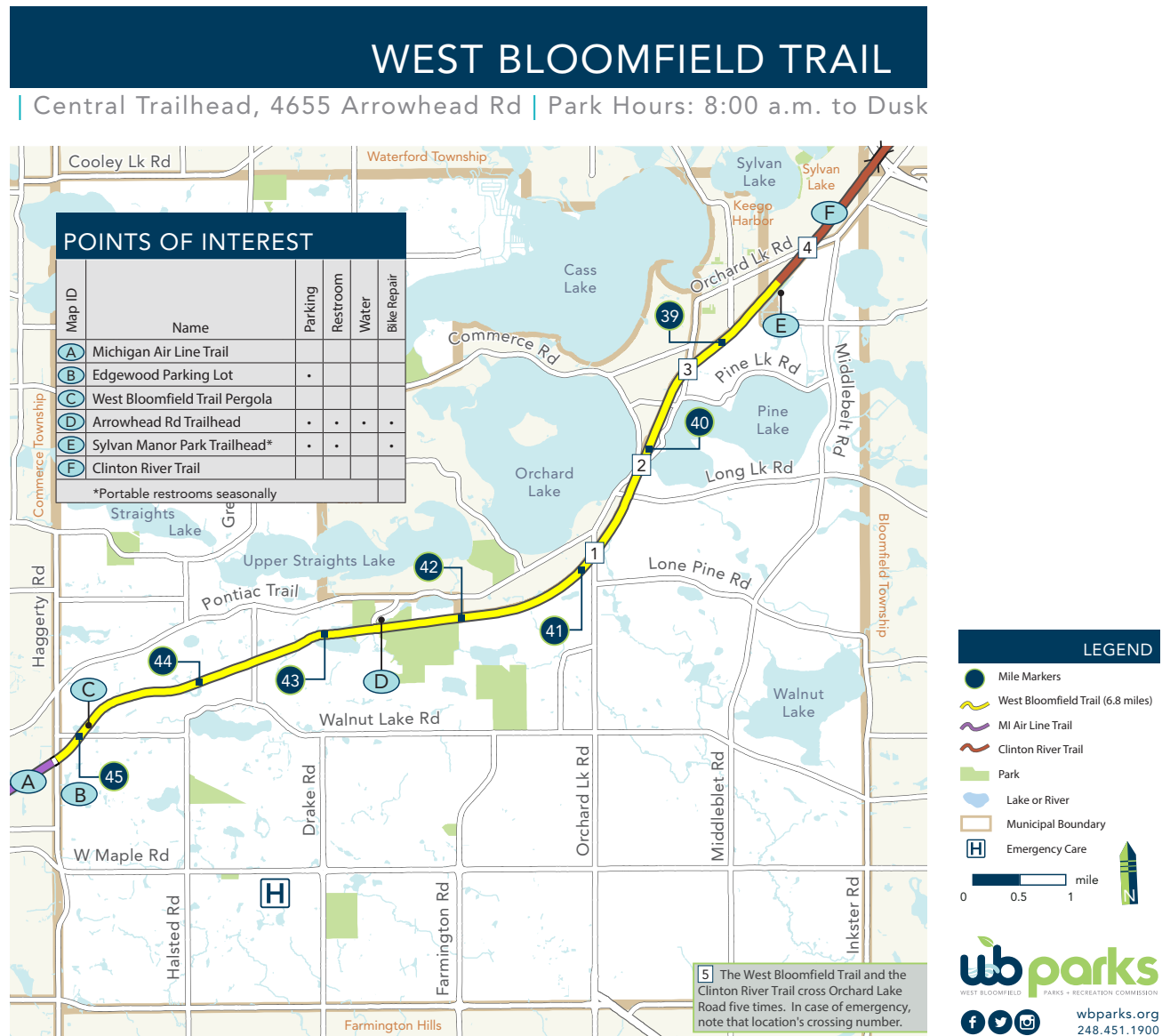


Figure 7.1 West Bloomfield Trail Map

Source: West Bloomfield Parks and Recreation Commission

## School Sites with Recreational Amenities

Sheiko Elementary School, just outside of the City limits in Orchard Lake, is the only school facility that can be used by the Parks and Recreation Department. It has fields for team sports like baseball, soccer, football, and similar activities. Its fields are used by organized sports and so are not always available for casual play. A fee is required to use them.

The closure of Roosevelt School has removed access to previously available recreational amenities, such as the school’s playground. However, the demolition of the former school may open the site up to future development possibilities that include recreational aspects, such as a community center.

## Privately Owned Recreational Amenities

Several privately owned recreational facilities are located in the City of Keego Harbor or a neighboring community. Although use of these facilities is limited to those members of the association or who live in certain neighborhoods, they do address certain recreation needs.

PRIVATELY OWNED FACILITIES WITHIN A FIVE MILES RADIUS INCLUDE		
2 Bowling Alleys	2 Golf Courses open to the Public	3 Ice Arenas
7 Dance Studios	6 Martial Arts Schools	2 Batting Cage/Go-Kart/Driving Range/Mini-Golf Businesses
14 Gyms and Fitness Clubs	1 Archery Club	1 Wave Pool
4 Private (Members Only) Golf Courses	1 Members-Only Indoor Golf Simulator	2 Ski / Snowboard Slopes within 20 miles

**Map 7.1** shows all existing recreational facilities in Keego Harbor, including City parks, public swim sites and waterfront access, privately-owned parks, and the West Bloomfield Trail.

Due to the size of the City of less than one square mile and its limited tax base, Keego Harbor does not have the resources to provide a full-time municipal employee to oversee recreation administration. Instead, the City relies heavily on volunteers on the Parks and Recreation Commission to provide direction and leadership regarding recreation issues.

The Parks and Recreation Commission is comprised of nine regular and three alternative Keego Harbor members who advise the City Council on various park and recreation issues and recommend regulations and updates to the operation of City parks. The Parks and Recreation Commission also hosts recreational events, including the Keego Block Party. Operational care of the parks is carried out by the Department of Public Works (DPW) in close cooperation with the Parks and Recreation Commission. Supplemental labor for the care of public landscaped areas is provided by the volunteers of the Keego Harbor Garden Club which operates under the direction of Parks and Recreation and in cooperation with the DPW.

Waterford Township

# Existing Recreational Facilities

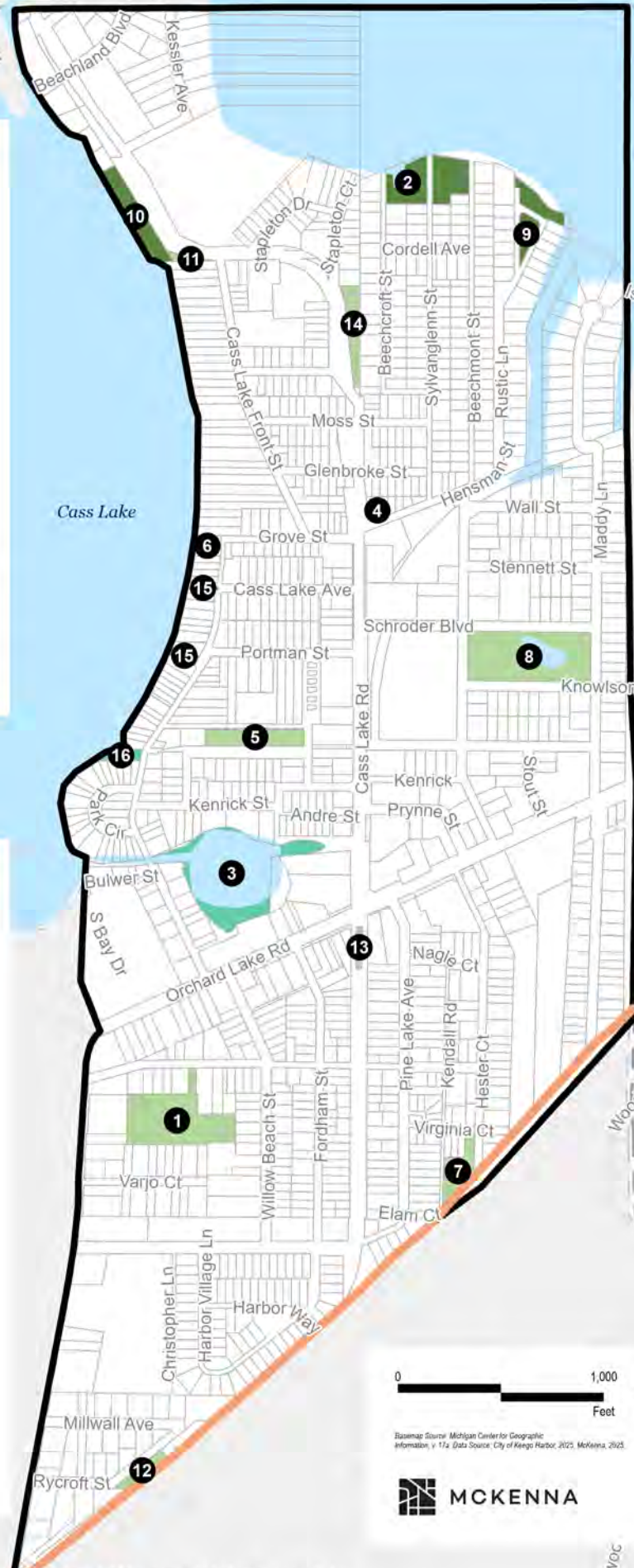
City of Keego Harbor, Michigan

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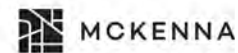
## LEGEND

-  City Parks
-  Private Park
-  Public Swim Sites and Waterfront Access
-  West Bloomfield Trail

- 1** Baxter-Morgan Park
- 2** Cunningham Subdivision Private Park
- 3** Dollar Lake Waterfront Access
- 4** Fire Fighter's Park
- 5** Fran Leaf Park
- 6** Grove Street Swim Site
- 7** Hester Court Park
- 8** Rose Sortor Park
- 9** Rustic Lane Private Park
- 10** Sylvan Lake Condominium Association
- 11** Sunset Park
- 12** Tate-Optimist Park
- 13** Veterans' Memorial Park
- 14** Webb Park
- 15** Willow Beach Addition Private Parks
- 16** Willow Beach Street Swim Site



BaseMap Source: Michigan Center for Geographic Information, v. 11a. Data Source: City of Keego Harbor, 2025; McKenna, 2025.



West Bloomfield Township

## Programs

Recreation programming available for Keego Harbor youth, adults, families, and seniors is largely provided by private organizations and larger neighboring communities. Annual special events held in Keego Harbor are sponsored by the Keego Harbor Parks and Recreation Commission, along with generous support of donations.

The City depends mainly on scouting programs like Boy Scouts of America, Girl Scouts, Campfire, and 4-H for youth programming. In addition to this, the non-profit West Bloomfield Youth Assistance Program (WBYA) offers professional counseling services and conducts prevention programs for youth and their families who live within the West Bloomfield School District. Keego Harbor residents can also access the West Bloomfield Township Public Library. In addition to its extensive book selection, the Library hosts several events, including an annual small maker mart, youth, teen, and senior events, and a local author fair. The Library also offers services for new parents, English language learning services, and online tutoring.

## Public Safety

The City currently supports its own Police Department and contracts with West Bloomfield Fire Department to provide fire protection as Tri-City Fire Service, which is shared with Sylvan Lake and Orchard Lake.

## Utilities

### Water

Keego Harbor is served by the City of Detroit water through a system of pipes that are maintained by Oakland County Water Resource Commissioner (WRC) Water and Sewer Department. Conversations with representatives of WRC indicate that the water quality continues to be acceptable. In addition, Oakland County has indicated that they are on a revolving maintenance schedule of cleaning the system of pipes on an average of every five years and replacing damaged or broken pipes on an as-needed basis.

Keego Harbor purchases treated surface water from the Great Lakes Water Authority (GLWA). The WRC's office operates and maintains (O&M) the water system which consists of 12 miles of water main. Valve turning, hydrant inspections, water main break repair, cross connection inspections, meter maintenance, billing services, regulatory compliance, etc. is completed as part of WRC's O&M of the water system. Distribution system sampling of the excellent water quality provided by GLWA is completed by WRC and GLWA.

### Sanitary Sewer

A sanitary sewer system was added to the City of Keego Harbor in 1962. All areas of the City currently have access to the system that is tributary to the Great Lakes Water Authority Recovery Facility in the City of Detroit. Because the number of households has not increased significantly since the inception of the sanitary system, there continues to be adequate capacity for the residents and businesses of Keego Harbor.

There are currently over 55,000 lineal feet of sanitary sewer in the City. As with the water system, the sanitary system is largely operated and maintained by the WRC. Most of the water and sewer system is located under the road network, making maintenance more difficult, but allows for the narrow road rights-of-way. The system is on an average seven-year cleaning schedule, and repairs to pipes and manholes are performed as needed. In 2018, approximately 95% of the sanitary system was cleaned and inspected utilizing grant funds distributed by the State of Michigan.

## Storm Drainage

Because of the ongoing trend toward redevelopment within the City in recent years, and due to the fact that the City is primarily built out, compact, and low with minimal topography, stormwater management continues to be a concern. Instances of flooding along waterfront properties, particularly along the canals, have been reported, including recent flooding in the parking lot of Fran Leaf Park. Severe rainstorms in 2021 caused flooding in Keego Harbor highlighting the need to address stormwater management in the City<sup>1</sup>. Keego Harbor has long been working to improve storm drainage in the City. The City's engineering consultants at Hubbell, Roth, and Clark, Inc. completed a Stormwater System Asset Management Plan in 2019. This Plan included a Capital Improvements Program that developed a prioritized list of repairs. In 2022, the Road Commission for Oakland County made stormwater improvements by replacing the culvert under Cass Lake Road and the storm sewer near the culvert. The City is also participating in the Voluntary Stormwater Management Program, which is a regional effort to control and manage water quality and stormwater.

Development and redevelopment impact the capacity and function of the City's stormwater system. As the trend toward larger homes, bigger driveways, and commercial redevelopment occurs, the City should review its Stormwater Asset Management Plan, evaluate any areas of the Plan requiring updates, and develop specific neighborhood/residential development standards for grading.

## Gas and Electric

Consumers Power Company supplies natural gas for home heating and cooking. DTE Energy is the sole electricity provider, and Ameritech provides basic telephone service.

## Other Utilities

In the coming years, American cities will likely see the provision of electricity, local telephone, and cable television opening up to competition among several providers. Local communities may not have significant regulatory authority in this emerging marketplace, but should cautiously exercise all governing authority that is provided to maintain service quality, avoid facility conflicts, and obtain franchising fees.

Cable television and internet connections are available from Comcast and AT&T. The City itself has access to high-speed internet via fiber optic cables provided by Oakland County. Digital subscriber line and high-speed internet access are currently available in Keego Harbor for businesses or citizens through a number of sources.

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<sup>1</sup> Hermes, Grant, and Mara MacDonald. "Homes and Businesses Damaged throughout Metro Detroit after Severe Storms." *WDIV, WDIV ClickOnDetroit*, 25 July 2021, [www.clickondetroit.com/news/local/2021/07/25/homes-and-businesses-badly-damaged-throughout-metro-detroit-after-severe-storms/](http://www.clickondetroit.com/news/local/2021/07/25/homes-and-businesses-badly-damaged-throughout-metro-detroit-after-severe-storms/). Accessed 21 Nov. 2025.

## Resources and Strategies

The City should consider the following strategies in relation to public infrastructure, facilities, and community services:

- Develop a Capital Improvements Plan (CIP). A capital improvements plan prepares for infrastructure projects, equipment purchases, and other capital projects over a six-year period and identifies funding resources for these projects. A CIP helps cities plan out short-term and long-term expenses. The Michigan Planning Enabling Act (MPEA) requires Planning Commissions to adopt a CIP and update it annually, unless the Planning Commission is exempt from this requirement by its city charter.
- Foster and maintain strong working relationships with public service providers and operators of community facilities. The City can better achieve its long-range goals and objectives through cooperation with public and quasi-public entities. Although no organizations that own property in the City of Keego Harbor plan to spin-off any land holdings (such as the Roosevelt School site), plans do change. By maintaining good relationships with the organizations, the City will be better able to monitor and direct any possible development on community facilities sites.
- Involve community facilities in overall aesthetic or design plans. The City's community facilities must set the tone for all physical improvements within the City.
- Develop a consensus plan and implementation approach for the City Hall site. The City should develop the site as a strong and attractive focal point for the community and provide a variety of community activities and services on the site.
- Continually monitor and evaluate the quality of public services to residents. The City must continually evaluate the quality of its services to residents and provide the budgetary and organizational flexibility to make improvements or changes as required.

08

**Natural Resources  
and Environment**

Topography, water access, land cover, and other natural features shape the way people interact with the land. The following chapter describes natural resources and the environment in Keego Harbor, potential environmental challenges that should be considered when planning in Keego Harbor, and strategies to address environmental concerns.

## Water Resources

Keego Harbor has access to multiple inland lakes, which are community amenities for residents and visitors to enjoy and protect.

- Cass Lake
- Dollar Lake
- Dollar Lake Canal
- Fran Leaf Park Canal
- Sylvan Lake

While Keego Harbor is surrounded by ample water resources, there is little public access to this natural resource. As discussed in the previous chapter, the only public waterfront access in Keego Harbor consists of the two public swim sites and the boat launch on Dollar Lake. Looking for opportunities to increase public waterfront access in Keego Harbor is one of the goals of this Master Plan. Strategies to support this goal will be discussed later in this chapter.

## Flood Hazards

As a community surrounded by precious water resources, including Cass Lake, Sylvan Lake, and Dollar Lake, preventing and increasing resiliency in flood events is an important consideration for Keego Harbor. Flood risk is often measured by Flood Insurance Rate Maps (FIRM), which shows areas that have a one percent chance or higher of experiencing a flood each year. [Map 8.1](#) shows areas of Keego Harbor that have a one percent or higher chance of experiencing a flood each year.

Keego Harbor has significant areas of land north of Orchard Lake Road that are considered flood hazard areas. The largest area under the 1% Chance Annual Flood Zone, which are considered high-risk flooding areas, surrounds Dollar Lake and extends north of Dollar Lake into the nearby residential area. Another large high-risk flooding area is located on the Cass Lake shoreline south of Park Circle. 1% Chance Annual Flood Zones are located in other areas along the lakeshore. Keego Harbor also has property in the Moderate Flood Hazard area. The largest Moderate Flood Hazard area is located between Cass Lake Road and the City's border with Sylvan Lake. While most of this land is residential in use, some commercial and public property is included in the 1% Chance Annual Flood Zone and the Moderate Flood Hazard area. As climate change continues to increase the number of severe weather events in Michigan, Keego Harbor should plan to address future flooding events. Keego Harbor should encourage the implementation of different green stormwater strategies for residential and commercial properties to prepare the City for future flooding events.

**Waterford Township**

# Flood Hazard Areas

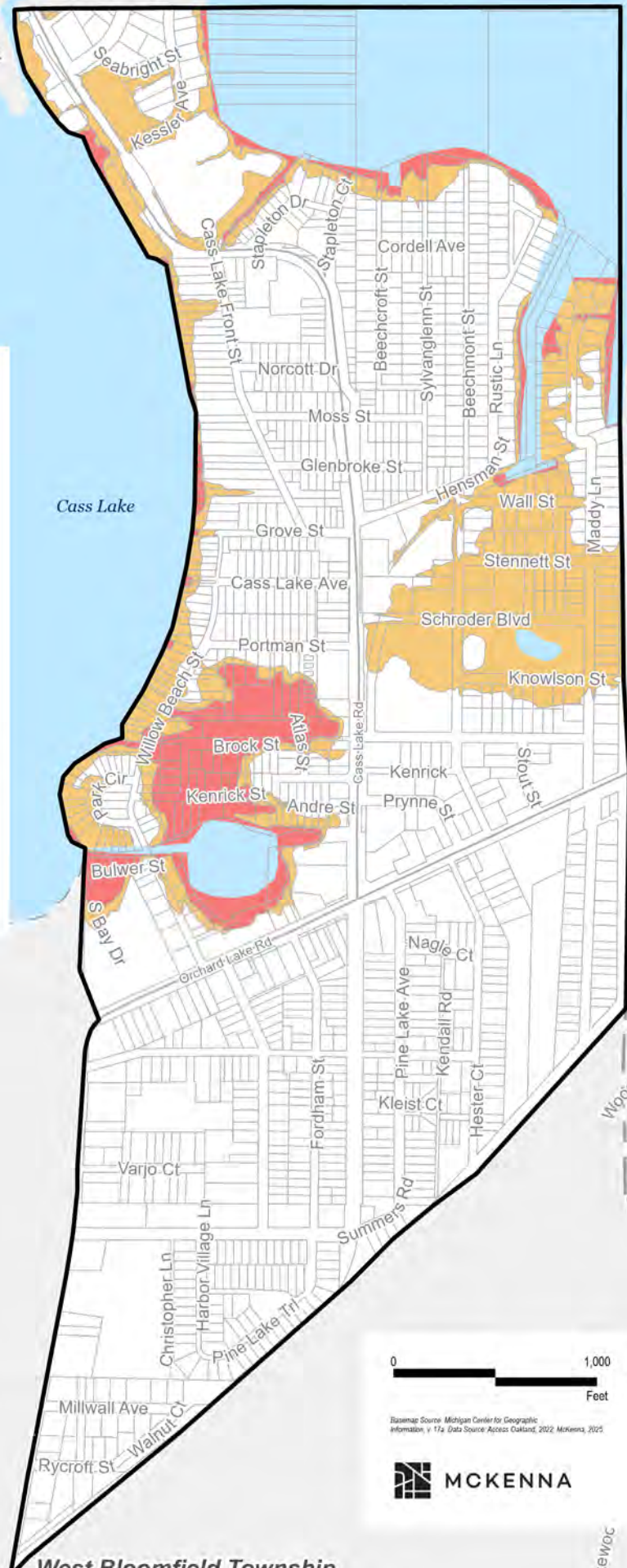
City of Keego Harbor, Michigan

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## LEGEND

### Flood Hazard Areas

- 1% Chance Annual Flood Zone
- Moderate Flood Hazard Area



Cass Lake

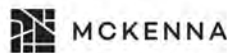
Sylvan Lake

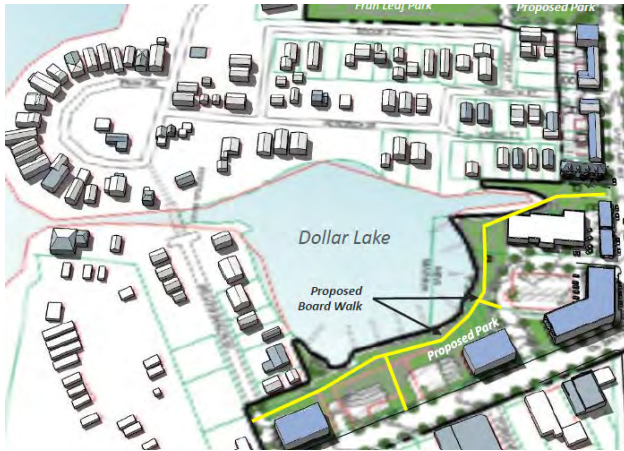
Orchard Lake Village

West Bloomfield Township



Basemap Source: Michigan Center for Geographic Information, v. 11a. Data Source: Aerial, 2022; Mckenna, 2025.





**Figure 8.1** Rendering of the proposed public park and boardwalk on Dollar Lake as shown in the 2021 Cass Lake Road Village Plan.

## Improving Public Waterfront Access

Throughout the Master Plan process, residents and stakeholders frequently expressed the desire to improve public access to Keego Harbor’s waterfront. The 2021 Cass Lake Road Village Plan sought to address this by proposing a public park and boardwalk along Dollar Lake.

The City currently owns the property along the banks of Dollar Lake, which removes one barrier for turning this space into a true public park and boardwalk. Additional steps would include working with the Department of Environment, Great Lakes, and Energy (EGLE), the City’s engineer, and the Parks and Recreation Department to develop a finalized design. To accomplish this project, the City would likely need to pursue grant funding resources.



**Figure 8.2** The City of Detroit was successful in revitalizing land along the Detroit River to include ample public space along the waterfront, complete with play equipment, a riverfront café, and a walking path along the river. This transformation was accomplished through a partnership with the Detroit Riverfront Conservancy and the Detroit Economic Growth Corporation.

**Photo Source:** Great Lakes Now, 2025

## Potential Funding Sources

### RECREATION PASSPORT GRANT

This fund is available to local communities in the form of grants on a 25 percent local matching basis. Funds are provided from the sale of the Recreation Passport which replaces the resident Motor Vehicle Permit (MVP)—or window sticker—for state park entrance. Eligible projects should have the primary purpose of providing public recreation opportunities or facilities and infrastructure to support public recreation activity, including the development of new facilities and the renovation of aging recreation facilities.

### LAND AND WATER CONSERVATION FUND

Michigan's Land and Water Conservation Fund provide matching grants for land acquisition and development of outdoor recreation areas and facilities. To be eligible, the City must have an approved, up-to-date recreation plan that has been formally adopted by the City Council. Additionally, proposed projects should connect to the goals and objectives in Michigan's 2023-2027 Statewide Comprehensive Outdoor Recreation Plan (SCORP). Facilities which may be developed with these funds include, but are not limited to, soccer fields, ball diamonds, tennis courts, playgrounds, fitness trails, picnic areas, archery ranges, and ice rinks.

### MICHIGAN NATURAL RESOURCES TRUST FUND

The Michigan Natural Resources Trust Fund offers funding for projects that protect natural resources and add outdoor recreation opportunities. No less than 25% of the Natural Resources Trust Fund can be used to develop public recreational facilities. As a result, the Dollar Lake project could be a priority project for the Trust Fund. Projects eligible for funding include:

1. acquisition of land or rights to land for recreational uses or for protection of the land for environmental importance or scenic beauty;
2. development of public outdoor recreation or resource protection facilities (i.e., picnic areas, winter sports areas, playgrounds, ballfields, tennis courts, trails, etc.);
3. indoor facilities if their primary purpose is to support outdoor recreation. Eligible indoor facilities include nature interpretive buildings and park visitor centers. Also eligible are outdoor recreation support buildings such as restrooms, maintenance, and storage buildings.

As with the other MDNR grant opportunities, proposed local government fund recipients must have a recreation plan no more than five years old that is approved by the Michigan Department of Natural Resources.

## Green Stormwater Infrastructure

Green stormwater infrastructure describes stormwater strategies that take advantage of or mimic nature's methods of naturally managing stormwater. Green stormwater infrastructure can have long-term environmental and economic benefits for municipalities. Green infrastructure is often less expensive to design and construct in comparison to traditional "grey" stormwater infrastructure projects according to a 2007 study from the United States Environmental Protection Agency (EPA)<sup>1</sup> and can reduce long-term water treatment costs and capital infrastructure costs.<sup>2</sup> Using green infrastructure strategies would be especially beneficial in Keego Harbor given its unique water resources and high water table.

Green stormwater management techniques can range in complexity and cost. Some of these techniques include:

**Bioswales:** Bioswales are shallow, vegetated basins often found along the sides of streets and roadways. Bioswales reduce the amount of stormwater being released into municipal storm sewer systems, filter pollutants before the water moves further downstream, and recharge the groundwater table. Bioswales also double as a traffic calming measurement by narrowing the street at certain points to help slow speeds.



**Figure 8.3** A bioswale in a residential neighborhood in Lake County, Illinois.

**Photo Source:** Lake County, Illinois



**Figure 8.4** Bioswales can also be used to divert stormwater in commercial or public areas while beautifying the corridor, as was accomplished by the Indianapolis Cultural Trail.

**Photo Source:** Indianapolis Cultural Trail

<sup>1</sup> American Rivers, et al. *Banking on Green: A Look at How Green Infrastructure Can Save Municipalities Money and Provide Economic Benefits Community-Wide*. Apr. 2012., p. 9  
<sup>2</sup> American Rivers, et al. *Banking on Green: A Look at How Green Infrastructure Can Save Municipalities Money and Provide Economic Benefits Community-Wide*. Apr. 2012., p.10

**Rain Gardens:** Rain gardens are a cost-effective stormwater management strategy that can be applied at both residential and commercial properties. Rain gardens function similarly to bioswales, as they collect stormwater that runs off of impervious surfaces and slow its flow into the storm sewer system while filtering pollutants.

**Permeable Pavement:** Permeable pavement is an alternative to traditional impervious surface materials, and include porous asphalt, concrete, and permeable interlocking concrete pavement (PICP). The porosity of these materials allow stormwater to infiltrate the pavement and into the ground. These materials are also used for permeable pavers, which are pavers made of permeable pavement and laid with gaps between each paver. These gaps are filled with aggregate, sand, and small stones, allowing water to infiltrate through both the gaps and the porous pavers. Permeable pavement and pavers have both residential and commercial applications and often require less long-term maintenance than traditional impervious surface materials. Permeable pavement is less prone to cracks and potholes and have an expected lifespan that is double that of traditional pavement in cold climate areas.<sup>3</sup>



**Figure 8.5** A rain garden at the Ypsilanti District Library Whittaker Road Branch in Ypsilanti, Michigan.

**Photo Source:** Ypsilanti District Library

Keego Harbor's 2019 Stormwater System Asset Management Plan offered several of these green stormwater management strategies to implement in areas particularly prone to flooding, including:

1. **Willow Beach Bridge:** Stabilize canal banks with riprap rock and native plants.
2. **Willow Beach Drain:** Stabilize banks with riprap rock and native plants, install 430 square foot rain garden, and install a pipe from the existing trench drain to the rain garden to divert stormwater to the rain garden.
3. **Schmid Drain (Dollar Lake):** Stabilize banks with riprap rock and native plants, install 1,500 square feet of dry grass swale, and install pervious pavement in the City-owned parking lot and riprap rock at the curb outlet.
4. **Grove Street Beach Swim Site:** Stabilize culvert outlet with geotextiles and aggregate.

The City should continue to implement these strategies to improve stormwater management and water quality in Keego Harbor.

<sup>3</sup> U.S. Environmental Protection Agency. Stormwater Best Management Practice Permeable Pavements Minimum Measure: Post Construction Stormwater Management in New Development and Redevelopment Subcategory: Infiltration. Dec. 2021.



09

# Implementation Plan

# Future Land Use Plan

## Future Land Use Categories

### Waterfront Residential

Waterfront areas are those that have property lines adjacent to one of the lakes, canals, or rivers within the City. The following standards are intended to maintain the character and value of these lots, recognizing that property owners wish to maximize the development on these lots while understanding that over developing these lots or incompatible development of these lots will have an adverse impact on waterfront quality and access, property values, the character of the community and consequently, the health, safety and welfare of the community. This future land use category should be used to preserve existing waterfront residential properties; however, this category should be expanded to currently vacant waterfront properties. Vacant waterfront property should be preserved to better protect Keego Harbor's prime lakefront and to add opportunities for public waterfront access.

#### APPROPRIATE LAND USE

Waterfront Residential uses are limited to low-density residential uses, such as single-unit homes and ADUs, as well as customary accessory uses.

#### LOT STANDARDS

Existing lots within this Future Land Use category are narrow in width. Several are below the absolute minimum lot width of 30 feet as required by the Zoning Ordinance. Despite how narrow these lots are, many of the Waterfront Residential lots have lot depths around 150 feet, and several residential parcels along Cass Lake Front Road have lot depths over 300 feet. Most existing Waterfront Residential parcels are between 3,001 and 10,000 square feet, as shown by [Map 4.1](#) in [Chapter 4](#). Based on past development trends and in the foreseeable future, the City recognizes that even the smallest, under-thirty-foot-wide lots have significant development value.

Currently, lot coverage includes all buildings and structures, both principal and accessory. The City has adopted ordinances to minimize paved surfaces on lots by minimizing driveway widths. This is important for aesthetic reasons, preventing full front yards from being paved, and to reduce the amount of impervious surface. Any future ordinance modifications to these standards must consider both of these issues. Furthermore, the City should explore alternative methods of providing for additional parking area without allowing for additional impervious surface. This can be accomplished by encouraging the use of permeable paver products.

The lot standards, including the existing 30% lot coverage and setbacks, is not expected to change from what is currently permitted in the Zoning Ordinance. The current standards prioritize responsible development of Waterfront Residential property by ensuring the new or substantially renovated residences maintain the existing building line set by existing waterfront homes, ensure water can drain properly by limiting lot coverage, and preserve waterfront views through the implementation of a clear vision triangle that limits where structures and plant materials can be placed. The City should continue to enforce the minimum waterfront setback of 50 feet to protect this important natural resource.

## BUILDING PLACEMENT AND DESIGN

Building placement is critical for maintaining the pedestrian character of the City and providing adequate light and air. Building placement is how the buildings are placed on the site relative to the property lines.

Front building setbacks for new development or redevelopment should relate to desirable existing development patterns in the immediate vicinity. Waterfront residential areas have the unique distinction of facing both the water and the street. The side of the building facing the street should maintain a public facade that is not dominated by a garage door. Consequently, all attached garages should be recessed at least five feet behind the facade with the front door and the garage door should not occupy more than 50% of the building width at the front property line. The current point system in the Residential Architectural Review Checklist incentivizes this type of waterfront residential development by offering higher points for detached garages or garages recessed from the front building line, for front porches that create an inviting public façade and promote social interaction among neighbors, and for higher percentages of the façade made up of windows.



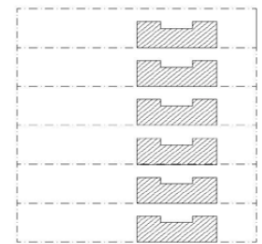
**Figure 9.1** The above waterfront residential residence is an example of a lack of public façade facing the street. The garage in front of the home dominates the view from the street.



**Figure 9.2** This waterfront residential property provides elements that improve the relationship between the home and the street, such as the front porch. These types of architectural elements improve the sense of community by increasing the amount of “semi-public” space, where neighbors can interact with each other.

The relationship between houses is largely determined by the side yard setbacks. Many of the houses along the waterfront have historically had small to no side yard setbacks. Keego has maintained minimum side yard setbacks based on 30% lot width. However, this standard has frequently been modified through the variance process. The Zoning Board of Appeals should only grant variances for the required side yard setback if all standards for a dimensional variance are met.

Side yard setbacks should continue to be based on the lot width with smaller setback required for smaller lots. However, creative approaches including “zero lot line” development should be explored. Rather than a home having two non-useable side yards, the total side yard could be applied to one side of the house, creating a useable courtyard and still maintaining adequate separation between units.



**Figure 9.3** An example of a “zero lot line” development pattern.

## Neighborhood Residential

While waterfront residential areas are defined by their relationship to the lakes, rivers, and canals of Keego Harbor, the Neighborhood Residential areas are defined by their collective character. In order to maintain this character, standards that ensure compatibility of size and style are critical. Historically, homes in Keego Harbor have either had no garages or detached garages. This greatly defines the character of the community as a pedestrian-friendly, walkable community.

### APPROPRIATE LAND USE

Appropriate land uses in the Neighborhood Residential Future Land Use category include single-unit residential homes, Missing Middle Housing types such as duplexes, triplexes, quadplexes, cottage courts, and ADUs, and accompanying accessory uses.



**Figure 9.4** In addition to supporting single-unit homes, the Neighborhood Residential Future Land Use District could also expand housing opportunity by permitting Missing Middle Housing types that fit the character of the surrounding neighborhood, like the duplex shown here.

### LOT STANDARDS

Lot sizes in the Neighborhood Residential Future Land Use category vary widely. While most are above the minimum lot size of 3,000 square feet, there are several nonconforming residential lots throughout the City. As with the Waterfront Residential areas, it is anticipated that the existing platted lots will be considered useable and that specific standards will be incorporated into the zoning ordinance to allow redevelopment on all platted lots as a matter of right.

## BUILDING PLACEMENT AND DESIGN

Most of the homes within the neighborhoods of Keego Harbor range from one to two stories. However, given the high water table in Keego Harbor, some redevelopments have sought relief from the finished first floor height standards to allow full finished basements, some of which project up to six feet above grade and are considerably out of character with the surrounding homes.

Maximum building heights have been established and consistently applied. Traditional homes, similar to those in Keego Harbor, have a finished floor elevation that is between 2.5 and 4 feet above the ground. This serves multiple purposes. First, it provides additional headroom for basement areas. Secondly, it provides a separation between the public areas of the front yard and street and the semi-public areas of the house. The element that makes this transition is typically a front porch. Front porches should be encouraged in all single-family districts by allowing them to encroach into the required front yard.

Front building setbacks for new development or redevelopment should relate to desirable existing development patterns in the immediate neighborhood. Like the Waterfront Residential areas, the side of the building facing the street should maintain a public facade that is not dominated by garage door. Consequently, all attached garages should be recessed at least five feet behind the facade while the front door and the garage door should not occupy more than 50% of the building width at the front property line. In the case of a thirty-foot-wide lot, this may require a one car garage, or a tandem two car garage where one car parks behind the other. Detached garages located on lots with double frontages should be setback a minimum of ten feet from the road and side loaded on lots forty feet or greater.

As with the Waterfront Residential areas, side yard setbacks should continue to be based on the lot width with smaller setback required for smaller lots. However, creative approaches including “zero lot line” development should be explored. Rather than a home having two non-useable side yards, the total side yard could be applied to one side of the house creating a useable courtyard and still maintaining adequate separation between units.



**Figure 9.5** An existing home in the Neighborhood Residential Future Land Use District. The front porch and detached garage help improve the street presence of the home.

## Townhome

Keego Harbor contains a diverse population. As a result, it is necessary to provide a diversity of housing options. While providing for a higher density of development, well designed townhouses create an image of a walkable, pedestrian friendly community, and can act as a transitional residential use between single-family uses and a major thoroughfare such as Cass Lake Road. Townhome development has been identified along several areas of Cass Lake Road and between the commercial areas and single-family residential areas as a transition.

### APPROPRIATE LAND USE

Townhouse residential areas are limited to attached single-family residential uses, attached Missing Middle Housing types such as duplexes, triplexes, quadplexes, cottage courts, and ADUs, and accompanying accessory uses.

### LOT STANDARDS

There are no set minimum lot size or width standards for the Townhome Future Land Use category to expand the number of lots that can support Townhome development. The site plan approval process and the setback standards in the Zoning Ordinance will likely determine the density and layout of a Townhome development. Generally, the density of the Townhome district will be between five and ten dwelling units per acre. Additional density may be warranted for projects that exhibit exceptional site layout and building design through the Planned Unit Development (PUD) process. Site layout should encourage walkability and connection to surrounding neighborhoods, parks, and commercial areas in Keego Harbor by including a sidewalk network within Townhome developments that connects Townhomes to each other and to Keego Harbor's existing sidewalk network when feasible.

### BUILDING PLACEMENT AND DESIGN

The Townhome District is intended to provide an alternative form of housing to the single-unit detached homes that are compatible in scale and character to the existing single-unit residential areas. It is anticipated that townhomes will continue to be limited to two stories or twenty-five feet. It is also anticipated that there will be a maximum number of units that may be attached in a single building. This provision is intended to provide for separation between buildings for adequate light and air as well as views.

Townhomes are considered a more urban form of housing. As a result, their placement can be closer to the road than single-family homes. Adequate separation between townhome buildings should be maintained to allow for window openings.

All garages and parking for townhomes are encouraged to be located at the rear of the buildings leaving the front of the building facing the street. When garages face a public road, they should be recessed a minimum of five feet behind the front building line. All townhome units should have a primary entrance onto a public road.

Porches or stoops are encouraged to provide the transition between the public areas of the street and the semipublic areas of the homes.



**Figure 9.6** These townhomes near downtown Robbinsville, New Jersey play on the vibrant character of their downtown by increasing residential density and constructing the townhomes close to the street. Townhomes of a similar character are desired in appropriate areas near main thoroughfares, like Cass Lake Road.

## Multiple-Unit Residential

Location of multiple-unit residential uses is determined by a number of factors, including, access to major road networks, surrounding uses, and community facilities. Therefore, the areas designated for multiple-unit uses largely follow established development patterns. This includes the existing apartment complex parcel located on the east side of Orchard Lake Road, south of Summers Road, condominiums located at the north-west corner of Summers Road and Willow Beach Avenue, apartments located north of Schroder Blvd., east of Cass Lake Road, the apartment complex on Cass Lake Front, the parcel occupied by the Sylvan Lake Condominiums, and the Magnolia by the Lakes Senior Living Facility. The Keego Harbor Mobile Home Park is also included in this Future Land Use category.

### APPROPRIATE LAND USE

Multiple-Unit residential areas include apartment-style residential uses, Missing Middle housing developments, and customary accessory uses.

### LOT STANDARDS

The Multiple-Unit Residential areas are intended to range between eight and 12 units per acre and generally represent the highest residential densities in the City. This Future Land Use Category also supports Manufactured Housing Community development as regulated by the Michigan Manufactured Housing Commission.

Pedestrian connections within these developments, including an internal sidewalk network that connects to the City's existing sidewalk network where feasible, should be provided.



**Figure 9.7** The Pine Lake Manor Apartments in Keego Harbor is an existing multiple-unit residential development in this Future Land Use category. The complex features an internal sidewalk network and other amenities, like a community swimming pool.

## BUILDING PLACEMENT AND DESIGN

Because multiple-unit developments are more dense than single-unit or townhome developments, the use of open space within the development is critical. Multiple-unit developments should be located close to public open spaces and should include common open spaces for the residents of the development. Similarly, Manufactured Housing Communities should include ample open space to encourage connection between residents.

Building height for multiple-unit developments should be limited to two and one-half stories or 35 feet. Sufficient architectural detail should be provided to ensure that the development is compatible with the single-family character of the community. Homes within Manufactured Housing Communities should similarly be high-quality in design, but architectural standards will not exceed those in place by the Michigan Manufactured Housing Commission.

Developments within the Multiple-Unit Residential areas should face the street with any parking located behind the buildings to maintain the pedestrian orientation of the community. Adequate spacing should be provided between buildings for open space and to allow window openings. In Manufactured Housing Communities, parking is not required in the rear, however, manufactured homes should ensure minimally-wide driveways to minimize the impacts of extensive impervious surface on stormwater and water quality.

## Neighborhood Commercial

The Neighborhood Commercial Future Land Use District boundaries are intended to support smaller, service-oriented commercial and mixed use that serves the needs of immediately adjacent residential neighborhoods. This District is concentrated at the entrances to the City, specifically on Orchard Lake Road at the eastern and southern City borders. A few parcels with this designation are also located in the northern portion of the City.

This future land use category is characterized by a combination of land use types that complement each other within a specific area. This could include anything from office uses to commercial retailers/restaurants with upper-story residential use. Development within this category may include a single project that features a mix of uses on the same property, or may also characterize an area of separately owned properties featuring a mix of land uses.

## APPROPRIATE LAND USE

Appropriate land uses include small-scale commercial and mixed-use that supports the needs of immediately surrounding residential areas. These uses may include retail, restaurant, office, personal service, or residential uses.

## LOT STANDARDS

There is no minimum lot size or width for the Neighborhood Commercial category. The site plan approval process and the setback standards in the Zoning Ordinance will likely determine the layout for sites in this future land use category. Sidewalks should be included on all street frontages to connect commercial sites. Installing pedestrian-scale streetscape amenities, such as benches, bike racks, and trash receptacles are strongly encouraged.

## BUILDING PLACEMENT AND DESIGN

Most Neighborhood Commercial sites have existing buildings that are set back from the road and include off-street parking in front of the building. Projects including new construction or substantial redevelopment should require that buildings be placed close to the street and should prioritize connectivity between the site and adjacent residential uses so residents can easily access goods and services.



**Figure 9.8** Complete Insurance on Cass Lake Road is a current example of a commercial use that services the day-to-day needs of the immediate neighborhood. The Neighborhood Commercial Future Land Use Category aims to support these types of commercial uses.

## Central Business District (CBD)

This land use category is designed to establish a special district for retail, service, and office type uses, with more than one use occupying a building. Generally, development in this district would include specialty shops, personal service establishments, professional office type uses, and small retail uses. Multi-use buildings with retail or service use on the first floor and residential use on the second floor with innovative design characteristics are encouraged.

The intent is to establish the Central Business District as a primary focal point in the City, which would contribute to creating a unique community identity. This District is focused around the Cass Lake Road and Orchard Lake Road intersection. Emphasis should be placed on encouraging commercial uses, assuring adequate parking, recommending high design standards, providing for pedestrian circulation, landscape and hardscape elements. This district should become the central point of the City, reflecting the small town recreational character of the City. Large-scale or intense traffic-oriented uses or uses that require high visibility would be incompatible and should be discouraged.

## APPROPRIATE LAND USE

Appropriate land uses include properly scaled commercial and mixed-uses that will attract residents and visitors to the District. This includes, but is not limited to, retail, personal service, food and beverage, and upper-story residential uses.

## LOT STANDARDS

There is no minimum lot size or width for the CBD category. Like projects in the Neighborhood Commercial future land use category, the site plan review process for individual projects will likely guide site layout. Considering the intent of this District is to create a walkable, pedestrian-scale downtown environment, pedestrian connectivity and amenities will be encouraged and prioritized, especially for new developments.

## BUILDING PLACEMENT AND DESIGN

Buildings in this District should be placed close to the street to create a pedestrian-scale downtown environment. Similar to other downtowns across Michigan, buildings can be built to the side lot lines on both sides. Facades should have visual subdivisions through the use of windows, columns, and similar architectural elements. Off-street parking should be located behind the building to promote a safe pedestrian environment along the street.



**Figure 9.9** Sage Green Floral Shoppe on the corner of Orchard Lake Road and Prynne Street is an existing building in the CBD Future Land Use District that contributes to an “old town” feel through the traditional downtown architecture, is built close to the street, and attracts customers through a business mix that includes retail and personal services.

## General Commercial

The General Commercial Future Land Use District accommodates commercial uses that are higher intensity in terms of vehicle traffic and typically require easy accessibility and high visibility. This District stretches along the eastern side of Orchard Lake Road and along the curve of Orchard Lake Road, terminating at the Willow Beach Street intersection. This area has tremendous potential for redevelopment and creates the first impression of the City before reaching the CBD. Provision of adequate parking, addressing outdoor storage, on-site lighting, signage, architectural design, and landscaping are key components of designing a site located in this area.

### APPROPRIATE LAND USE

This future land use category can accommodate a variety of higher-intensity commercial uses, including event halls and indoor recreation centers (e.g. bowling alleys, arcades, and similar uses). Auto-oriented commercial uses, such as drive-thru establishments, automobile service shops, and gas stations may be permitted by special land use.

### LOT STANDARDS

Like the other commercial future land use categories, there are no minimum lot size or width standards to accommodate development on existing lots. Access from the street should be thoughtfully designed to minimize traffic congestion and reduce vehicle and pedestrian conflicts along Orchard Lake Road. Parking lots located along the street should be accompanied by an adequate landscaping buffer.

### BUILDING PLACEMENT AND DESIGN

These uses may be set back further from the street to promote adequate site circulation and safety. Building design should be architecturally cohesive with surrounding buildings. Signage, lighting, landscaping should be designed to attract travelers while ensuring that they do not cause nuisances to surrounding property owners or represent hazards to drivers.



**Figure 9.10** Marathon Gas Station on the corner of Orchard Lake Road and Commerce Road.

## Civic Use

This category was established to embrace all developed or undeveloped lands owned by various governmental, public, and semi-public agencies. Currently, this future land use category includes the City Hall site and road and utility easements along Cass Lake Road.

### APPROPRIATE LAND USE

Appropriate land uses include government buildings, schools, libraries, community centers, and other public and civic uses.

### LOT STANDARDS

Site layout and design will be based on individual site plan review processes. As public uses, these sites will be adequately connected to pedestrian networks and nearby neighborhoods.

### BUILDING PLACEMENT AND DESIGN

While this Future Land Use category does not have specific building placement and design standards, building design and placement should highlight the site's civic use.



**Figure 9.11** Keego Harbor City Hall on election day.

**Photo Source:** C&G Newspapers

## Public and Private Recreation

The Public and Private Recreation category includes privately and publicly owned properties that are primarily used for active recreational or open space purposes. Other sites are existing vacant waterfront sites that could be acquired by the City to expand public waterfront access. A vacant parcel along Cass Lake Road immediately east of Fran Leaf Park could also be used to expand Fran Leaf Park and give it frontage along Cass Lake Road. This is reflected in the Future Land Use Map. It is intended that these areas continue to serve as recreational and open space, offering both active and passive recreation opportunities. As shown on the Future Land Use Map, this category includes the areas that are generally scattered throughout the City.

### APPROPRIATE LAND USE

Appropriate land uses for this future land use category include parks, open space, and customary accessory uses.

### LOT STANDARDS

There are no lot standards for this future land use category to accommodate recreational spaces of all sizes in Keego Harbor.

### BUILDING PLACEMENT AND DESIGN

Any accessory buildings and structures, such as gazebos, should be of high-quality and ornamental design to attract residents and visitors to these parks.



**Figure 9.12** Hester Court Park

## Industrial

No industrial land uses were identified or designated on the future land use plan for the City. The limited availability of land and the lack of access to major freeways makes the City unsuitable for uses of an industrial nature. These uses are incompatible with the small-town pedestrian community character that is envisioned for the future of Keego Harbor. The benefits of these types of uses such as employment opportunities are available to the citizens of Keego Harbor within close proximity.

## Priority Redevelopment Sites

While “Priority Redevelopment Sites” are not meant to represent its own future land use category, the development of these priority redevelopment sites will have a large impact on the overall fabric of the City and greater region. To further its development goals of increasing walkable commercial, residential, and mixed-use development, creating a unified streetscape, and improving public waterfront access, the City is open to utilizing tools for flexible development, such as Planned Unit Developments (PUDs), on priority redevelopment sites. Developments should benefit from flexibility only when they demonstrate a clear benefit to the City through achieving the following goals:

1. Encourage the use of land in accordance with its character and adaptability;
2. Conserve natural resources and energy;
3. Encourage innovation in land use planning;
4. Provide enhanced housing, employment, shopping, traffic circulation and recreational opportunities for the people of the City; and,
5. Bring about a greater compatibility of design and use.

Future redevelopment of the priority redevelopment sites should correspond with the concept visions for these sites described in [Chapter 5](#).

## Opportunities for Public On- and Off-Street Parking

As detailed in [Chapter 6](#), the City aims to add on-street parking on Cass Lake Road to add amenities to the Central Business District and create a buffer between moving vehicle traffic and the pedestrian environment. To support this vision, the City has identified potential locations where on-street and off-street parking can be located. Some of these parcels are currently City-owned, others are dedicated road and utility easements, and others are privately-owned. Additional right-of-way would need to be secured to accommodate on-street parking spaces in these locations.

In the event that locating on-street parking on these parcels becomes infeasible, these parcels should be developed according to the recommendations for the underlying future land use category. Parcels with an underlying future land use designation of “Civic Use” are existing road and utility easements, and will continue to remain in their existing condition.

**Map 9.1** categorizes all land in Keego Harbor by the Future Land Use designations described above.

**Waterford Township**

# Future Land Use

City of Keego Harbor, Michigan

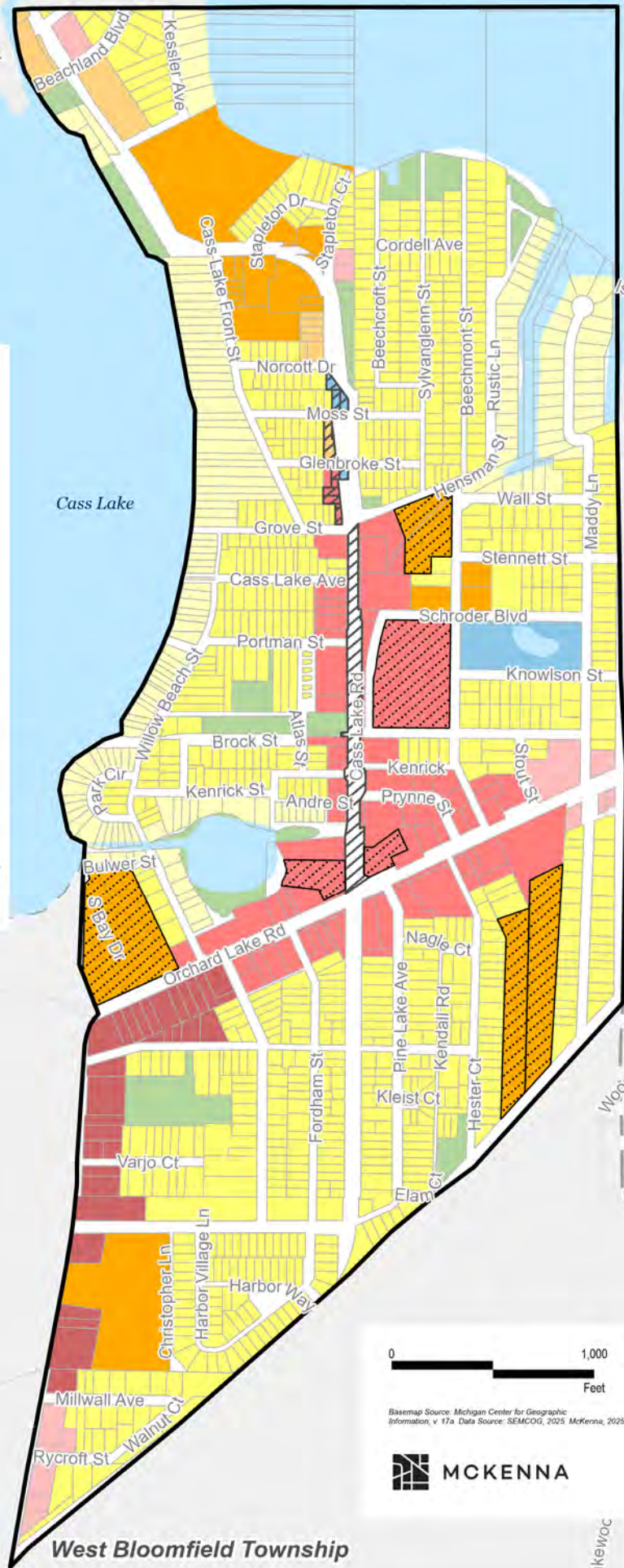
DRAFT February 6, 2026

**LEGEND**

**Future Land Use**

-  Waterfront Residential
-  Neighborhood Residential
-  Townhome
-  Multiple-Unit Residential
-  Neighborhood Commercial
-  Central Business District (CBD)

-  General Commercial
-  Civic Use
-  Public and Private Recreation
-  Opportunities for Public On- and Off-Street Parking
-  Priority Redevelopment Sites



**Orchard Lake Village**

**Sylvan Lake**

**West Bloomfield Township**



Basemap Source: Michigan Center for Geographic Information, v 17a. Data Source: SEMCOG, 2025 McKenna, 2025.



Rivona Dr  
Beachland Blvd  
Kessler Ave  
Cass Lake Front St  
Stapleton Dr  
Stapleton Ct  
Cordell Ave  
Beechcroft St  
Sylvanglenn St  
Beechmont St  
Rustic Ln  
Island Ct  
Fisher Ave  
Glenbrooke St  
Hensman St  
Wall St  
Maddy Ln  
Grove St  
Cass Lake Ave  
Portman St  
Schroder Blvd  
Knowlson St  
Kenrick  
Prynne St  
Sout St  
Bulwer St  
S Bay Dr  
Orchard Lake Rd  
Nagle Ct  
Fordham St  
Pine Lake Ave  
Kendall Rd  
Hester Ct  
Elam Ct  
Varjo Ct  
Christopher Ln  
Harbor Village Ln  
Harbor Way  
Millwall Ave  
Rycroft St  
Walnut Ct  
Arrowdale Dr  
Commerce Rd  
Superior Dr  
Indiantdale Dr  
Erie Dr  
Lakewood

Beverly St  
Pleasant St  
Woodland Ave  
Woodrow Wilson Blvd  
Depew Dr  
Penna Dr  
Littleell Ave  
W-Square Lake Rd  
Vanel Ct

## Implementation Matrix

The Keego Harbor Master Plan serves as the guiding framework for future policy and land use and development decisions in the City. Implementation of the goals and objectives outlined in **Chapter 3** will require coordinated efforts between the Planning Commission, City Council, Tax Increment Finance Authority, other Board and Commissions, City staff, businesses, residents, property owners, and other key community stakeholders.

After the adoption of the Master Plan, City staff will work with the appropriate departments and responsible boards and commissions to implement the goals, objectives, and strategies outlined in the Implementation Matrix. The Implementation Matrix is a commonly used tool that helps to implement the adopted Master Plan by identifying the specific actions to accomplish, assigning responsible parties, establishing priorities, setting timelines, and identifying funding sources for each action, as applicable. **Some strategies are repeated amongst multiple objectives if that strategy promotes the completion of those objectives.** The Matrix helps to coordinate long-term and short-term projects to ensure completion and success.

The priority level for each strategy does not exclusively identify projects that need to be completed first. Rather, the priority level categorizes projects that could begin and be completed within the designated timeframe. For example, zoning ordinance amendments can be facilitated by Keego Harbor staff and do not require coordination and cooperation with outside agencies. Therefore, it could be completed within 1–3 years (high priority). However, collaboration projects with multiple governments or agencies that may require grant funding will take longer to complete and may continue beyond the span of this Master Plan (low priority).

**THE PRIORITY LEVELS IN THIS IMPLEMENTATION MATRIX ARE AS FOLLOWS**

<b>A</b>	Most Important
<b>B</b>	Very Important
<b>C</b>	Important

**PARTNERSHIPS ARE INDICATED ON THE IMPLEMENTATION MATRIX USING THE FOLLOWING KEY**

**City Staff and Boards and Commissions**

<b>BD</b> = Building Department	<b>CC</b> = City Council
<b>ED</b> = Economic Development	<b>PC</b> = Planning Commission
<b>CS</b> = City Staff	<b>TIFA</b> = Tax Increment Finance Authority
<b>DPW</b> = Department of Public Works	<b>PR</b> = Parks & Recreation Commission
<b>KHPD</b> = Keego Harbor Police Department	

**Inter-Community Entities/Boards**

<b>WBFD</b> = West Bloomfield Fire Department	<b>GWBHS</b> = Greater West Bloomfield Historical Society
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**County/Regional Entities**

<b>OCP</b> = Oakland County Planning	<b>ONDD</b> = Oakland County Neighborhood Development Division
<b>RCOC</b> = Road Commission for Oakland County	<b>OWRC</b> = Oakland County Water Resources Commissioner
<b>WOTA</b> = Western Oakland Transportation Authority	<b>SEMCOG</b> = Southeastern Michigan Council of Governments
<b>MDOT</b> = Michigan Department of Transportation	<b>MSHDA</b> = Michigan State Housing Development Authority
<b>MEDC</b> = Michigan Economic Development Corporation	<b>EGLE</b> = Department of Environment, Great Lakes, and Energy
<b>MDNR</b> = Michigan Department of Natural Resources	

**Private Entities**

<b>HO</b> = Homeowners	<b>PD</b> = Private Developers
<b>BO</b> = Business Owners	<b>U</b> = Utility Companies

The Implementation Matrix indicates whether public, private, or TIF funding would be needed to complete that strategy. Information on specific funding sources that may be available for specific strategies is in their respective chapters. For example, details on public or private transportation funding to support the transportation strategies in this Matrix are found in [Chapter 6](#).

The Implementation Matrix should be updated to showcase project accomplishments, both large and small, and changes in timelines, as appropriate. The Matrix should be reviewed by the Planning Commission a minimum of five years after the adoption of the Master Plan, in compliance with the Michigan Planning Enabling Act, to determine if the Master Plan needs to be amended or updated.

## Housing and Neighborhoods

### Goal #1:

The City’s neighborhoods will continue to be dominated by quality traditional style single-family homes designed to fit on the range of existing platted lots within the City. The City’s waterfront residential lots will be developed in a manner that ensures adequate light and ventilation while recognizing the value of waterfront real estate. The City will continue to develop and maintain a range of housing types including townhomes and apartments that are designed to be compatible with the predominant single-family character of the community.

#### OBJECTIVE 1.1

Improve living amenities in all residential neighborhoods through high standards of housing design construction and access to usable and convenient parks. Continue to decrease the amount of visual clutter in front yards and encourage city-wide plantings and beautification efforts.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Expand the sidewalk network into residential neighborhoods to promote pedestrian access to parks and commercial areas.	A	3–5 years						
Consider implementing a residential tree planting program to incentivize tree-lined residential streets and an improved tree canopy in residential neighborhoods.								
Review Residential Architectural Review Checklist annually to ensure the standards reflect the most recent standards in accessible and high-quality housing design.			DPW PC CC	—	—	×	×	—
Evaluate and amend the Neighborhood Residential District standards to support maintenance and improvements of existing nonconforming neighborhoods, like the Kleist Court neighborhood.								

**OBJECTIVE 1.2**

Develop clear and reasonable zoning standards to ensure that residential redevelopment occurs in a manner that is consistent with the platted lots sizes within the City and the traditional character of the existing homes within the City.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Evaluate and amend the Neighborhood Residential District standards to support maintenance and improvements of existing nonconforming neighborhoods, like the Kleist Court neighborhood.	A	1-3 years	PC CC	-	-	X	-	-
Review Residential Architectural Review Checklist annually to ensure the standards reflect the most recent standards in accessible and high-quality housing design.								

**OBJECTIVES 1.3**

Continually monitor and encourage reinvestment in single-family homes, especially in blighted and lower income owner-occupied areas.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Support energy-efficient upgrades to homes, such as the residential solar panel installation, to improve long-term energy costs for homeowners.	B	1-3 years	BD	ONDD MSHDA	HO	X	X	-
Support homeowners interested in aging-in-place by connecting them to grant programs that can assist with accessibility upgrades, such as ramp or grab bar installation.								
Refer low-income homeowners to foreclosure assistance programs when necessary to help keep homeowners in their homes.								
Connect residents to home improvement programs offered by Oakland County and the State of Michigan.								

**OBJECTIVE 1.4**

Continue to administer the City’s property maintenance code and rental registration program. Identify opportunities to offer or connect residents with assisted housing rehabilitation programs.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Establish an exterior inspection process for when properties transfer ownership to promote compliance with current building codes.	C	1–3 years						
Work with Oakland County Neighborhood Development Division and the Fair Housing Center of Metropolitan Detroit to promote understanding of fair housing laws to landlords.			BD	ONDD	–	×	–	–

**OBJECTIVE 1.5**

Protect all neighborhood areas from disruptive through traffic that should be directed onto collector and arterial roads.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Add wayfinding signage to encourage through traffic to appropriate throughfares.	C	3–5 years						
Consider installing traffic calming measures like speed bumps or radar speed signs when necessary on residential streets with identified speeding concerns.			DPW KHPD TIFA	OCP MEDC	–	×	×	×

**OBJECTIVE 1.6**

Support affordable housing opportunities that are consistent with market conditions.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Conduct a housing needs assessment and to clearly quantify housing needs and identify appropriate housing strategies.	B	3–5 years						
Consider amendments to the Zoning Ordinance to allow “Missing Middle” housing types, such as duplexes, ADUs, and cottage courts in the Neighborhood Residential District.			DPW KHPD TIFA	OCP MEDC	–	×	×	×
Incentivize landlords to participate in housing programs serving vulnerable populations who hold temporary or emergency vouchers or other assistance.								

**OBJECTIVE 1.7**

Promote single-family residential developments that preserve scenic views and vistas.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Continue to implement the waterfront setback and daylight plane on waterfront properties to ensure that daylight and waterfront views are not blocked.	A	3–5 years	PC CC	EGLE	HO	—	X	—
Establish an impervious surface maximum in all residential zoning districts to reduce the negative impacts of impervious surface on stormwater management, residential flooding, and the creation of urban heat island effects.								
Encourage the use of “bioengineering” strategies such as the installation of low-lying native plants, erosion blankets, and similar strategies on waterfront properties rather than seawalls to reduce flooding and erosion concerns on waterfront property while preserving waterfront views.								

**OBJECTIVE 1.8**

Encourage infill residential development that is architecturally compatible with existing residential structures.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Consider reducing residential minimum floor areas in residential districts to support the development of microhousing and similar infill solutions.	B	1–3 years	PC CC	—	—	X	—	—
Establish design standards for residential infill and redevelopment to promote walkability and connectivity to amenities, commercial areas, and other residential neighborhoods.								
Consider amendments to the Zoning Ordinance to allow “Missing Middle” housing types, such as duplexes, ADUs, and cottage courts in the Neighborhood Residential District.								

**Goal #2**

The City will encourage additional housing opportunities that add vibrancy to the Central Business District and Keego Harbor as a whole by supporting mixed-use development and residential development on upper-stories of commercial buildings, and by identifying areas for higher-density housing development that still maintains the character of existing residential development in Keego Harbor, such as cottage court developments.

**OBJECTIVE 2.1**

Continue to support upper story residential development in commercial districts while expanding allowable residential uses in residential districts.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Consider amendments to the Zoning Ordinance to allow “Missing Middle” housing types, such as duplexes, ADUs, and cottage courts in the Neighborhood Residential District.	A	1–3 years	PC CC TIFA	MEDC MSHDA	—	X	—	X
Consider developing and offering pre-approved housing plans for single-unit and multi-unit housing types to encourage additional residential development.								

**OBJECTIVES 2.3**

Collaborate with organizations like the Michigan State Housing Development Authority (MSHDA) and the Michigan Economic Development Corporation (MEDC) on future residential and mixed-use developments to identify financial incentives for developers.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Require a conceptual meeting to understand the scope of the project so that connections between developers and potential funders can be made early.	A	1–3 years	PC CC ED	OCP ONDD MEDC MSHDA	PD	X	X	—
Provide concept plans for priority redevelopment sites listed in this Master Plan to encourage developers to pursue the community's desired vision for these sites.								

## Economic Development

### Goal #1

Keego Harbor will continue to preserve and enhance the Central Business District as the center of neighborhood commercial and entertainment activities. The City will establish and maintain appropriate areas for small-scale neighborhood commercial uses that serve the needs of surrounding residential areas.

#### OBJECTIVE 1.1

Encourage a variety of mixed-use development and redevelopment in the Central Business District that is consistent with the scale and character of surrounding uses.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Analyze the Cass Lake Road and Orchard Lake Road corridors to identify appropriate opportunities for increased density.	A	3–5 years						
Review building height maximums in the Village Overlay District to ensure they provide avenues for increased density while maintaining a small village character.								
Provide a vacant commercial properties database that includes the desired development vision on the City's website to market available properties while ensuring Keego Harbor's development goals are being met.			PC CC ED	OCP	BO PD	X	X	X
Connect existing residential neighborhoods to commercial corridors through an improved sidewalk network and site access.								

**OBJECTIVE 1.2**

Enhance the appearance of the entire Cass Lake Road and Orchard Lake Road corridor through development of unified streetscape improvements and site improvement standards.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Review the Commercial Architectural Standards and Checklist and the Village Overlay District Permitted Materials List annually to ensure that it reflects up-to-date building design and materials.	A	3–5 years	PC CC TIFA ED	—	—	X	X	X
Encourage the installation of pedestrian and non-motorized amenities, such as benches and bike racks, on commercial property.								
Use TIF funds to add on-street parking, widened sidewalks, curb extensions, and similar road diet interventions onto Cass Lake Road to support the vibrancy and economic vitality of Keego Harbor’s commercial corridors.								
Create a branding guide, including a logo refresh, color palette, and typography to support a coordinated brand for Keego Harbor’s commercial districts and for the City as a whole.								

**OBJECTIVE 1.3**

Direct incompatible vehicular-intensive commercial uses to appropriate areas outside of the historic Central Business District.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Continue to prohibit auto-oriented uses in the Village Overlay District, such as gas stations and car washes, and implement special land use standards for uses that have the potential to increase vehicle traffic.	B	1–3 years	PC CC	—	—	X	X	—
In areas where vehicle-intensive uses are permitted, require site design standards that promote safety for pedestrian and non-motorized transportation users.								

**OBJECTIVE 1.4**

Assure comprehensive control over the location of commercial/office land uses through the use of zoning regulations and site plan review requirements.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Overview site plan review processes to identify ways to streamline this process, especially for projects that involve reoccupying an existing building.	C	1-3 years	PC	—	—	X	—	—
Evaluate the Table of Permitted Uses in the Zoning Ordinance to ensure it reflects the desired uses and development goals for commercial areas in Keego Harbor.			CC	—	—	X	—	—

**OBJECTIVE 1.5**

Maintain high standards of site design for all commercial and office uses, including frontage beautification, buffering devices, landscaping, walkway linkages, controlled vehicular access, stormwater management, and attractive signage – all of which will promote long-term commercial stability.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Review the Commercial Architectural Standards and Checklist and the Village Overlay District Permitted Materials List annually to ensure that it reflects up-to-date building design and materials.	A	3-5 years	PC	RCOC OCP SEMCOG	BO	X	X	X
Examine opportunities to develop a pilot program in the TIFA District to support property owners in increasing the sidewalk width along Cass Lake Road and developing additional sidewalk and walkway connections.			CC					
Encourage the installation of public art on commercial and mixed-use property, such as murals, sculptures, and similar installations.			ED					
Encourage the use of green infrastructure elements, such as bioswales, rain gardens, and permeable pavers in parking lots to reduce the negative stormwater impacts of parking lots and other impervious surface.			TIFA					

**OBJECTIVE 1.6**

Provide incentives and flexible mechanisms for commercial tenants and owners to upgrade existing commercial sites.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Continue to support a façade improvements program for commercial properties in the TIFA District.	A	1–3 years	PC CC ED TIFA	—	BO	X	X	X
Consider instituting a revolving loan fund to provide funding for commercial property owners to make improvements to their building.								
Create informational handouts on common commercial improvement projects, such as building additions, outdoor dining, and the Commercial Architectural Review process.								
Create a small business guide outlining the process for opening a small business in Keego Harbor.								

**OBJECTIVE 1.7**

Support the development of public parking on publicly owned property.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Remove the P-1 Parking District from the Zoning Ordinance and rezone all properties appropriately to discourage turning existing private residential and commercial uses into parking.	A	3–5 years	PC CC TIFA	RCOC MDOT SEMCOG MEDC MSHDA	—	X	—	X
Use TIF funds to add on-street parking to Cass Lake Road.								
Encourage redevelopment of the City-owned Corner Property to include public parking as part of a new mixed-use development.								

**OBJECTIVE 1.8**

Design and construct gateways (i.e., signs, monuments, landscaping) at strategic locations to mark the arrival into the City and planned business districts.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Work with programs like Oakland County Main Street and programs offered by the Michigan Economic Development Corporation to add wayfinding signage and other placemaking interventions in the TIFA District and at entrance and exit points in the City.	B	1–3 years	PC CC TIFA	OCP SEMCOG MEDC	—	X	—	X
Create a branding guide, including a logo refresh, color palette, and typography to support a coordinated brand for Keego Harbor’s commercial districts and for the City as a whole.								

## Transportation and Mobility

### Goal # 1

Maintain a safe, efficient transportation and circulation system which minimizes conflicts among transportation users, promotes accessibility throughout the community, and accommodates the circulation needs of pedestrians within the City.

#### OBJECTIVE 1.1

Reduce the negative physical and psychological impacts of major thoroughfares cutting through the community through unified streetscapes, adequate street crossings, and smooth traffic flow.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Connect with RCOC and MDOT to explore options to add marked and signaled crosswalks along Cass Lake Road and Orchard Lake Road to improve the pedestrian safety on major thoroughfares.	A	1–3 years	PC CC	RCOC SEMCOG MDOT	—	X	—	X
Consider completing a Feasibility Study to support on-street parking and other road diet interventions on Cass Lake Road.								

#### OBJECTIVE 1.2

Utilize and maintain safe pedestrian walkways, where possible, to link various land use types such as shopping and offices to residential areas, parks, and community activity centers.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Maintain sidewalks along Cass Lake and Orchard Lake Road and improve when feasible to widen sidewalks and add buffers between the sidewalks and the road to improve pedestrian and nonmotorized safety along main corridors.	A	3–5 years	PC CC TIFA	RCOC SEMCOG MDOT	—	X	X	X
Work with SEMCOG to consider the feasibility of their suggested bicycle path in Keego Harbor as shown in their 2020 Bicycle and Pedestrian Mobility Plan.								
Maintain an inventory of sidewalk gaps and prioritize locations to expand the sidewalk network based on their ability to connect residents to commercial areas, parks, and other community assets.								

**OBJECTIVE 1.3**

Carefully use the site plan provisions of the zoning ordinance during the review of development plans to assure minimum traffic conflicts, adequate parking and loading areas, adequate on-site pedestrian circulation, proper signage, and reduced motorist confusion resulting from clutter.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Continue to require a Traffic Impact Analysis for special land uses to ensure minimum traffic conflicts.	<b>B</b>	3–5 years						
Consider amending the Zoning Ordinance to require cross-connecting driveways between compatible land uses when feasible to reduce the number of driveways onto main arterials.								
Continue to encourage the relocation of off-street parking behind the building for new construction and substantial redevelopment projects to promote improved traffic circulation and to promote a more pedestrian-friendly environment.			PC CC	—	×	×	—	—
Consider amending the Zoning Ordinance to institute parking maximums to reduce unnecessarily large parking areas for commercial businesses.								

**OBJECTIVE 1.4**

Limit residential streets to local traffic, excluding through traffic as much as possible.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Install wayfinding signage to encourage through traffic to appropriate throughfares.	<b>C</b>	3–5 years						
Consider installing traffic calming measures like speed bumps or radar speed signs if necessary on residential streets with identified speeding concerns.			ED DPW TIFA	OCP MEDC	—	×	—	×

**OBJECTIVE 1.5**

Assure that any expansion of major thoroughfares includes adequate buffering and landscaping for affected single-family residential and commercial areas.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Continue to require buffering between commercial and residential uses, allowing landscaped buffers where appropriate.	A	3–5 years	PC CC ED TIFA	RCOC OCP SEMCOG	BO	X	X	X
Require the installation of landscaped medians, bioswales, street trees, and similar buffering measures between the road and the pedestrian environment to improve safety for all modes of transportation.								

**OBJECTIVE 1.6**

If appropriate, implement complete streets ideals into street improvement projects to make City streets more accommodating for all types of users.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Consider creating a Complete Streets Action Plan to support safety for all modes of transportation.	A	1–3 years	PC CC	RCOC WOTA SEMCOG MDOT	–	X	–	X
Work with WOTA to expand public transportation access in Keego Harbor, including examining the feasibility of adding fixed route bus service.								

## Public Infrastructure, Facilities, and Services

### Goal #1

Continue to provide all segments of the population with high-quality and affordable community services and facilities.

#### OBJECTIVE 1.1

Maintain and, where possible, improve community services, including police and fire protection, regularly scheduled maintenance of street and utility systems, snow removal, senior citizen services, and other municipal activities.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Develop a Capital Improvements Plan to prioritize and identify funding for capital projects over the next six years.	A	1–3 years	PC	RCOC SEMCOG MDOT WOTA MEDC	—	X	X	X
Work with local community service organizations to connect seniors, veterans, and other residents to resources and support.			CC					
Work with WOTA to expand public transportation access in Keego Harbor, including examining the feasibility of adding fixed route bus service.			BD ED CT DPW TIFA PR KHPD					

#### OBJECTIVE 1.2

Continue to maintain and improve municipal buildings to adequately accommodate various civic functions.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Develop a Capital Improvements Plan to prioritize and identify funding for capital projects over the next six years.	A	1–3 years	PC	RCOC SEMCOG MDOT WOTA MEDC	—	X	X	X
Continue community events like the Parks & Recreation Board's Block Party and increase community events where feasible.			CC					
Add a bike rack at City Hall and Rose Sortor Park.			BD ED CT DPW TIFA PR KHPD					

**OBJECTIVE 1.3**

Maximize the efficient use of all existing public facilities, through cooperative development and joint agreements with public providers such as the school district and other government entities.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Consider creating a joint agreement with neighboring communities to allow shared access of recreational facilities.	B	1–3 years	PC CC PR	OCP SEMCOG	—	X	—	—
Collaborate with neighboring communities and organizations, such as the West Bloomfield Township Public Library or the Greater West Bloomfield Historical Society, to host larger community events.								
Consider the feasibility of SEMCOG’s suggested bicycle path as shown in the 2020 Bicycle and Pedestrian Mobility Plan to improve connections between existing public facilities, parks, and the West Bloomfield Trail.								

**OBJECTIVE 1.4**

Continue to seek opportunities for expanding public waterfront and park access for the residents of Keego Harbor.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Work with EGLE, SEMCOG, Oakland County Planning, and other relevant bodies to improve create a park and public boardwalk along Dollar Lake.	A	3–5 years	PR PC CC TIFA	EGLE, SEMCOG	—	X	—	X
Discourage development on remaining vacant waterfront parcels to increase public waterfront access.								

**OBJECTIVE 1.5**

Place emphasis on the development of attractive, high quality parks and recreation facilities in order to enhance local identity, image, and property values.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Continue to pursue Michigan Department of Recreation grants to pursue park projects that improve amenities and accessibility in Keego Harbor’s parks.	A	3–5 years	PR CC TIFA	MDNR EGLE	—	X	X	X
Add placemaking elements, such as wayfinding signage, public art, and seating in Keego Harbor’s parks.								
Preserve wetland areas and park land along the canal by encouraging natural engineering strategies that reduce erosion and flooding.								

**Goal #2**

Ensure ongoing community planning and the implementation of Master Plan recommendations.

**OBJECTIVE 2.1**

Review, update, and amend the zoning and subdivision regulations to address the goals and objectives of the Master Plan.”

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Complete a Zoning Ordinance audit to identify necessary text amendments to support the goals and objectives of this Master Plan.	A	1–3 years	PC	—	—	X	—	—
After completing a Zoning Ordinance audit, create a prioritization schedule and budget for Zoning Ordinance amendments.			CC BD ED					

**OBJECTIVE 2.2**

Update the Master Plan on a regular basis to address changing conditions, redevelopment proposals, and the development of new needs by residents.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Select priority strategies from this Implementation Matrix each year to review in the Planning Commission’s Annual Planning Program and implement for the upcoming year.	A	1–3 years	PC	—	—	X	—	—
Review this Master Plan a minimum of every 5 years to ensure the Master Plan still reflects Keego Harbor’s strengths, opportunities, and development goals.								

**OBJECTIVE 2.3**

Cooperate with nearby communities through the exchange of information on development and redevelopment issues, and other shared interests, such as community facilities and services, and development along shared boundaries.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Host an annual meeting with Orchard Lake, Sylvan Lake, Waterford Township, and West Bloomfield Township to exchange information on development projects and identify shared planning priorities.	B	3–5 years	PC	GWBHS OCP SEMOG	—	X	—	—
Consider opportunities for joint grant applications to support shared recreation, community service, and transportation goals.			CC PR					

**OBJECTIVE 2.4**

Continue public capital improvement efforts in the City, including street and sidewalk repair and placement, provision of needed street lights, and street trees.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Develop a Capital Improvements Plan to prioritize and identify funding for capital projects over the next six years.	A	3–5 years	PC	RCOC SEMCOG MDOT WOTA MEDC	–	X	–	X
Encourage street trees and landscaping on commercial properties along Cass Lake and Orchard Lake Road.			CC					
Use TIF funds to widen sidewalks, support road diet interventions, and maintain street lights along Cass Lake Road.			BD					
	ED							
	CS							
	DPW							
	TIFA							
	PR							
	KHPD							

**OBJECTIVE 2.5**

Continue to involve the public in the decision-making process.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Develop a Public Participation Plan meeting the requirements of MEDC’s Redevelopment Ready Communities (RRC) Program.	A	1–3 years	PC	–	–	X	–	–
Ensure the Zoning Ordinance, Zoning Map, and all planning documents and ongoing project information is available on the City’s website in a clear location.			CC					

**OBJECTIVE 2.6**

Implement measures to streamline the development review process.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Create development process flow charts for different review processes (administrative review, site plan review, special land use review, etc.) to clearly communicate these processes and requirements to the public.	B	1–3 years	PC	–	–	X	–	–
Continue to develop handouts outlining the process and relevant provisions of the Zoning Ordinance for common types of development projects.			CC					
			BD					

## Natural Resources and Environment

### Goal #1

Preserve and enhance the natural environment and water quality.

#### OBJECTIVE 1.1

Encourage the preservation of existing woodlands and wetlands. Promote street tree planting to help preserve the natural setting for residential areas.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Encourage the use of bioengineering strategies on waterfront properties to prevent flooding and erosion, rather than infrastructure like seawalls that can cause increased flooding and erosion over time.	A	1–3 years	PC CC DPW	EGLE MDNR	—	X	—	—
Consider implementing a residential tree planting program to incentivize tree-lined residential streets and an improved tree canopy in residential neighborhoods.								
Explore adopting a tree preservation ordinance to protect existing healthy trees in Keego Harbor.								
Address drainage problems on impervious surfaces near wetland areas through green infrastructure solutions.								

#### OBJECTIVE 1.2

Maintain the trees and vegetation around the City’s lakes, and prevent the encroachment of housing and other development closer to the lake edge.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Collaborate with the Parks & Recreation Commission to improve tree plantings in existing City Parks.	B	1–3 years	PC CC PR	—	—	X	—	—
Continue to enforce a minimum 50-foot waterfront setback to prevent the encroachment of development on lakefront property.								
Preserve remaining waterfront property as public space.								

**OBJECTIVE 1.3**

Provide for the protection of the lakes from the dangers of pollution, run-off, overuse, and misuse.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Encourage the use of bioengineering strategies on waterfront properties to prevent flooding and erosion, rather than infrastructure like seawalls that can cause increased flooding and erosion over time.	B	3–5 years	PC CC PR DPW	EGLE	—	X	—	—
Implement the green stormwater infrastructure projects identified in Keego Harbor’s 2019 Stormwater System Asset Management Plan.								

**OBJECTIVE 1.4**

Protect the vistas and overlooks provided to the residents and the public from vantage points along the lakes.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Work with EGLE, SEMCOG, Oakland County Planning, and other relevant bodies to improve create a park and public boardwalk along Dollar Lake.	A	3–5 years	PR PC PR CC TIFA	EGLE SEMCOG	—	X	—	X
Continue to implement the waterfront setback, daylight plane, and clear vision triangle on waterfront properties to ensure that daylight and waterfront views are not blocked.								
Discourage development on remaining vacant waterfront parcels to increase public waterfront access.								

**OBJECTIVE 1.5**

Allow and encourage low impact development within the City, including the development of stormwater best management practices to minimize the negative impacts development can have on runoff and water quality.

STRATEGY	PRIORITY	TIMEFRAME	PARTNERSHIP			FUNDING		
			City	Other Govt	Private	Public	Private	TIF
Institute an impervious surface maximum for each Zoning District.	B	3–5 years	PC ED CC	EGLE	PD	X	X	—
Consider offering density bonus for development in exchange for the implementation of green stormwater solutions, such as green roofs, permeable pavers, and bioswales in the development.								

## Zoning Plan

The Zoning Ordinance is Keego Harbor’s main tool for implementing the Future Land Use Map and the goals, objectives, and strategies of this Master Plan. While the Master Plan is a policy document, the Zoning Ordinance is the law. The Zoning Ordinance enforces requirements for land use, building dimensions, minimum parking standards, and landscaping, to name a few, for almost all new construction or redevelopment in the City. The Zoning Ordinance enacts the desired development strategies which are outlined in the Master Plan.

### Existing Zoning Map Designations and the Future Land Use Map

The categories demonstrated on the Future Land Use Map and the corresponding descriptions of each classification from Chapter 9 form the basis for evaluation of future land uses and the corresponding development associated with those uses. Not all the Future Land Use categories will match up directly with the current location or regulations of their corresponding districts. Zoning Ordinance text amendments, Zoning Map amendments, or new or consolidated zoning districts may be necessary in order to implement the Future Land Use Plan. The key recommended revisions to the Zoning Ordinance are provided in the following section.

The following table represents Keego Harbor’s current zoning districts, as applied to the proposed Future Land Use categories within this Plan.

FUTURE LAND USE DESIGNATION	ZONING CORRELATION
Waterfront Residential	NR Neighborhood Residential District
Neighborhood Residential	NR Neighborhood Residential District
Townhome	R-T Townhouse Residential District
Multiple-Unit Residential	R-M Multiple Family Residential District
	R-MH Residential Mobile Home Park District
Neighborhood Commercial	C-1 Local Business District
Central Business District (CBD)	Village Overlay District
	C-1 Local Business District
General Commercial	C-2 General Commercial
Civic Use	All Zoning Districts
Public and Private Recreation	All Zoning Districts
Industrial	M-1 Light Industrial District

## Planned Unit Developments (PUD)

Planned unit developments are a zoning tool that permits some flexibility in the land development regulations in exchange for an innovative development that offers a clear public benefit and is responsive to the site's existing natural features and the City's public utility capacity. Keego Harbor offers a PUD process in their Zoning Ordinance. PUDs in Keego Harbor must demonstrate a recognizable and material benefit to the users of the project and the broader community, preserve existing natural resources and features, or make an existing use nonconforming to Zoning Ordinance standards more conforming. A PUD must also be consistent with the goals of this Master Plan.

Developments in Keego Harbor completed through the PUD process include the Magnolia by the Lakes Senior Living Facility and Harbor Village. The townhomes on Wayward Avenue along Cass Lake Road were also approved through a PUD process, but the project was only partially completed.

## Potential Zoning Considerations

The following recommendations for amending the Zoning Ordinance are based on the goals, objectives, and strategies in this Plan and the Future Land Use Plan:

- Allow “Missing Middle Housing” Types, including, but not limited to, duplexes, triplexes, fourplexes, and accessory dwelling units (ADUs) in the NR Neighborhood Residential District.
- Permit all foster care, adult foster care, and child care homes in the Village Overlay District.
- Consider increasing the maximum allowable height in the Village Overlay District to better accommodate multi-story mixed-use development.
- Consider reducing required front yard setbacks in the C-1 Local Business to match that of the Village Overlay District to create continuity between these two districts and to increase the opportunity to locate off-street parking behind commercial buildings.
- Remove the P1 Parking District and rezone all properties appropriately.
- Consider an impervious surface limit for each Zoning District.
- Consider granting additional points for projects that use permeable pavers, rain gardens, and similar green infrastructure interventions in both the Residential and Commercial Architectural Review processes. For commercial projects that install green infrastructure, consider offering density bonuses.
- Establish a Tree Preservation Ordinance, either within the Zoning Ordinance or separately, to protect Keego Harbor's mature trees.



[www.KeegoHarbor.com](http://www.KeegoHarbor.com)

### 2025 Master Plan

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# Memorandum

**TO:** Keego Harbor Planning Commission

**FROM:** Paul Urbiel, AICP  
Emily Huhman, AICP

**SUBJECT:** **Sign Ordinance Recommended Language: Content Neutrality, Lighted Signs, and Temporary Signs, Window Signs, and Billboard (Off-Premises) Signs**

**DATE:** February 23, 2026

Dear Planning Commissioners,

At the Planning Commission meeting on December 2, 2025, the Planning Commission tabled discussion on potential changes to the City’s Sign Ordinance to allow for additional research to be conducted on window sign and billboard (off-premises) sign regulations in other communities. To address this request, this memorandum provides the following:

- An analysis of Zoning Ordinance regulations for billboard (off-premises) signs, which compares Keego Harbor’s current standards to those in the City of Birmingham, Bloomfield Township, and the City of Ferndale.
- An analysis of Zoning Ordinance regulations for window signs, which compares Keego Harbor’s current standards to those in the City of Ferndale, City of Ypsilanti, and the City of Traverse City.
- A summarization of recommended changes relating to temporary signs, lighted signs, and content neutrality.
- A full markup of Keego Harbor’s current Sign Ordinance, with all text recommended to be added in red with gray highlight and all text recommended to be removed is struck through with gray highlight.




We look forward to discussing this information with you at an upcoming meeting.

## OFF-PREMISES (BILLBOARD) SIGNS

While Keego Harbor and Bloomfield Township allow billboards subject to additional regulations in their Light Industrial District, the Cities of Birmingham and Ferndale prohibit billboards and off-premises signs in their Zoning Ordinance. The following table compares different aspects of Keego Harbor’s off-premises sign regulations with those of Birmingham, Bloomfield Township, and Ferndale.

### Ordinance Comparison Table

Key

-  Regulations less stringent than Keego Harbor’s current standards
-  Regulations equally stringent as Keego Harbor’s current standards
-  Regulations more stringent than Keego Harbor’s current standards.



	City of Keego Harbor (Current Standards)	City of Birmingham	Bloomfield Township	City of Ferndale
Permitted?	Yes, in M-1 District only.	No	Yes, in the ML Light Manufacturing District only.	No
Permit Required?	Yes	-	Yes	-
Size Requirement	Max. 100 square feet per sign face, 200 square feet total	-	Max. 200 square feet in area.	-
Height Requirement	Max. 20 feet high from average grade within a 60 foot radius of the base of the sign	-	-	-
Location Requirements	Cannot be closer than 1000 feet to another billboard/non-accessory sign  Setback must be equal to the zoning yard requirements for the M-1 District.	-	Cannot be closer than 1,000 feet to another billboard along freeways and closer than 600 feet to another billboard along major thoroughfares	-
Additional Requirements	Must be materially compatible with surrounding improvements as determined by Planning Commission.  Illuminated billboard signs must be at least 500 feet from any residential zoning district or use and illumination must be directed away from all residential uses.	-	-	-



Keego Harbor’s existing regulations would make it difficult to construct a billboard in Keego Harbor. Since Keego Harbor currently does not have any parcels zoned M-1, constructing a billboard would require the applicant to request a rezoning. Keego Harbor’s other requirements relating to the size and location of billboards are very similar to those in Bloomfield Township.

## WINDOW SIGNS

At the December 2, 2025 Planning Commission meeting, Planning Commissioners expressed concerns with the difficulties in enforcing window sign regulations and requested additional research to be done on window sign regulations in place in other municipalities. The following section provides an analysis table comparing Keego Harbor’s existing window sign provisions to other communities with unique commercial areas and provides the full window sign regulation text from each community in the table.

### Ordinance Comparison Table

Key

- Regulations less stringent than Keego Harbor’s current standards
- Regulations equally stringent as Keego Harbor’s current standards
- Regulations more stringent than Keego Harbor’s current standards.

	City of Keego Harbor (Current Standards)	City of Ferndale	City of Ypsilanti	City of Traverse City
Permit Required?	Yes	No	Yes	No
Size Requirement	In VOD – no more than 25% of glass area and 12 square feet per storefront  Outside VOD – no more than 1/3 of total window area.  Maximum of 3 decals per business.	No more than 20% of the glass surface	No more than 25% of the total transparent area for any individual window.	No more than 25% of each window area.
How is Size Calculated?	Based on total window area.	Calculations are done for each window separately and cannot be combined.	Calculations done for each window separately.	Calculations done for each window separately.
Additional Requirements	-	Cannot be attached or painted to the outside of the window.	-	For signs that require a permit, the applicant must submit a Master



		Must remove faded, yellowed, or otherwise damaged window signs.		Sign Plan to be approved by the Zoning Administrator detailing all signage to be erected, including window signs.
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Overall, Keego Harbor’s existing regulations for window signs are less or similarly restrictive to those in Ferndale, Ypsilanti, and Traverse City. The only area where Keego Harbor may be considered more restrictive is that Keego Harbor requires a sign permit for window signs, where Ferndale and Traverse City do not.

**City of Ferndale, MI**

**Article 20. Glossary**

**Definitions S-T**

**Signs.** Any visible device which displays either commercial or noncommercial messages by means of graphic presentation of alphabetic or pictorial symbols or representations.

[...]

**34) Window Sign.** A temporary or permanent sign oriented to the right-of-way and placed on a window, or inside a building in such a manner as to be oriented toward the right-of-way.

**Section 8.04. Signs that do not Require a Permit**

The following signs do not require a sign permit, provided they are not located in the public right-of-way and comply with the sign requirements of Section 8.02: General Standards.

Sign Type	Sign Category	Maximum Height	Maximum Size (per face)	Maximum Number	Additional Requirements
Window	A	-	20% of the glass surface	-	Cannot be attached to or painted on the outside of any window.  Window signs that are faded, yellowed, ripped, or otherwise damaged must be removed immediately.



					Calculations are done for each window separately and cannot be combined.
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P – Primary Sign  
A – Accessory Sign

**City of Ypsilanti, MI**

(b) Building Mounted Signs.

(1) Location. Building mounted signs may be located on any façade that faces a street, parking area, alley, or on a façade where a public entrance is located.

(i) Illuminated building mounted signs may not be located on a façade that faces a property line that abuts a residential zoning district unless the sign is set back at least 200 feet from the property line or screening is provided that will completely obscure the view of the sign from the adjacent residential district.

(2) Minimum Height. Signs that project more than eighteen inches into a right-of-way or over an entrance or other pedestrian or vehicular access point shall maintain a minimum clearance of 8 feet between the grade level below the sign and the lowest part of the sign, inclusive of sign structures and support devices.

(3) Materials.

(i) Building mounted signs shall incorporate exterior materials, finishes and colors that are the same, similar, or complementary to those used on the principal building.

(ii) Building mounted signs shall be professionally constructed using high-quality materials such as metal, stone, hard wood, or brass. The use of exposed neon tubing is permitted.

(iii) External illumination of signs shall be limited to fully-shielded light fixtures with a maximum of 1000 lumens. Such fixtures shall be mounted above the sign face with all light directed downward and concentrated on the area of the sign to prevent glare upon the street or adjacent property.

(iv) Neon tubing outlining windows or other architectural features is prohibited.

(4) Window Signs. May not occupy more than twenty-five percent (25 %) of the total transparent area of any individual window.

**City of Traverse City, MI**

**Section 1476.04 – Definitions.**

[...]

Window sign means a sign which is applied, affixed or attached to the interior of any building window.

**Section 1476.06 – Signs authorized without a sign permit.**



Subject to any other applicable requirements and permits, the following are authorized without a sign permit:

[...]

(14) Window signs for commercial, industrial, institutional and recreational uses, not exceeding 25% of each window area.

## **SUMMARY OF RECOMMENDED CHANGES FOR TEMPORARY SIGNAGE**

Below are all recommended changes relating to temporary signage in the Sign Ordinance:

- Section 14.01 – Definitions. Clarified definition for mural in Section 14.01 (j) to include that a mural may be temporary.
- Section 14.01 – Definitions. Clarified definition for on-premises sign in Section 14.01 (l).
- Section 14.01 – Definitions. Removed language prohibiting pole signs and roof signs from Definitions section to Section 14.06 (d) Prohibited signs to improve clarity.
- Section 14.04 – Exempt signs. Added subsection (h) which exempts temporary signs in NR, RT, R-M, and R-MH Districts from requiring a sign permit.
- Section 14.06 (d) – Prohibited signs. Added roof signs and pole signs.
- Section 14.06 (d) - Prohibited signs. Clarified that electronic and non-electronic message signs can be permitted.
- Section 14.07 – District regulations. Updated residential zoning districts referenced in subsection (a) to reflect the current residential zoning districts.
- Section 14.07 – District regulations. Added subsection (a) (1) to limit the size of temporary signs in residential districts to six (6) square feet.
- Section 14.07 – District regulations. Added rope lighting, LED, and similar lighting systems to subsection (c) (8).
- Section 14.07 – District regulations. Removed subsection (c) (8) (a) (3).
- Section 14.07 – District regulations. Replaced neon signs with outline tubing and rope lighting signs in subsection (c) (8) (a) (5).
- Section 14.07 – District regulations. Added subsection (c) (11) (g) specifying that temporary murals should meet the requirements of the mural section. There are no size limitations for permanent or temporary murals except for parts of the mural containing business logos and similar advertising.
- Sections 14.07 – District regulations. Changed size maximum of temporary signs in commercial districts from 32 square feet to 24 square feet.
- Sections 14.07 – District regulations. Clarified that temporary signs can be displayed no longer than 30 days during each 3 month quarter, and no more than 180 days total per year.
- Sections 14.07 – District regulations. Removed language requiring Planning Commission approval to erect temporary signs more than once per year.
- Sections 14.07 – District regulations. Limits the number of temporary signs in C-1, C-2, P-1, M-1, and VOD to three, or one sign per suite for multi-tenant shopping centers.
- Sections 14.07 – District regulations. Added subsection (c) (14) (b) including specific regulations for temporary banner signs.
- Sections 14.07 – District regulations. Added subsection (c) (14) (c) including specific regulations for temporary flag signs.



- Sections 14.07 – District regulations. Added subsection (c) (14) (c) clarifying that a permit is required for signs in these zoning districts.

### **SUMMARY OF RECOMMENDED CHANGES FOR LIGHTED WALL SIGNS**

Section 14.07 (13) requires all wall signs to be externally lit. We recommend this requirement be removed. As detailed in the markup of the Sign Ordinance provided, recommended language is as follows:

*(13) Wall signs. The maximum allowable wall sign size on facades shall equal one (1) square foot per one (1) linear feet of frontage, exclusive of columns and/or pilasters. Such wall sign is limited to thirty-six (36) inches in height, must be contained within fifteen (15) feet of the sidewalk (or exterior walking surface), must be located above the storefront, ~~and must be externally lit (exclusively) 2700–3000k color temperature.~~*

### **SUMMARY OF RECOMMENDED CHANGES FOR CONTENT NEUTRALITY**

In the attached markup of the current Sign Ordinance, McKenna provides all recommended changes to support content neutrality. We recommend making the edits in the accompanying markup to gain content neutrality, in compliance with Reed v. Gilbert (2015). We also recommend incorporating additional sections to reinforce the content neutrality of Keego Harbor's Sign Ordinance, as can be seen in the supplemental markup.

If you have any questions about this memo or the accompanying draft Sign Ordinance, please do not hesitate to reach out to us. We look forward to discussing this matter at your upcoming meeting.

## ARTICLE XIV. SIGNS

### Sec. 14.00. Purpose and intent.

It is hereby determined that regulation of the location, size, placement and certain features of signs is necessary to enable the public to locate goods, services and facilities without difficulty and confusion, to promote traffic safety, safeguard public health and welfare and prevent wasteful use of natural resources in competition among businesses for attention.

In addition, it is the intent of this Ordinance to assure the continued attractiveness of the total community environment through the adoption of discretionary controls designed to preserve scenic, aesthetic and economic values within the City.

It is further determined that signs which may lawfully be erected and maintained under the provisions of this Ordinance are consistent with customary usage.

### Sec. 14.01. Definitions.

The following words and phrases shall have the meanings set forth in this section when they are used in this Chapter:

*Business.* Any legal use of a building, other than for a religious institution, day care center, school, home occupation or residence, by a person, firm or corporation. Although contained in the same building as another business and owned by the same person, an activity may be treated as a separate business if it is physically separated from, uses different personnel than, and provides different products or services than such other related business.

*Building frontage.* The length of the portion of a building occupied by a single-business facing a street adjacent to the premises on which the business is located.

*Maximum height.* Shall be measured from grade or sidewalk to the highest edge of the sign surface or its projecting structure.

*Minimum height.* Shall be measured from grade or sidewalk to the lowest edge of the sign surface or its projecting structure.

*Owner.* A person, firm, partnership, association or corporation and/or its legal successors.

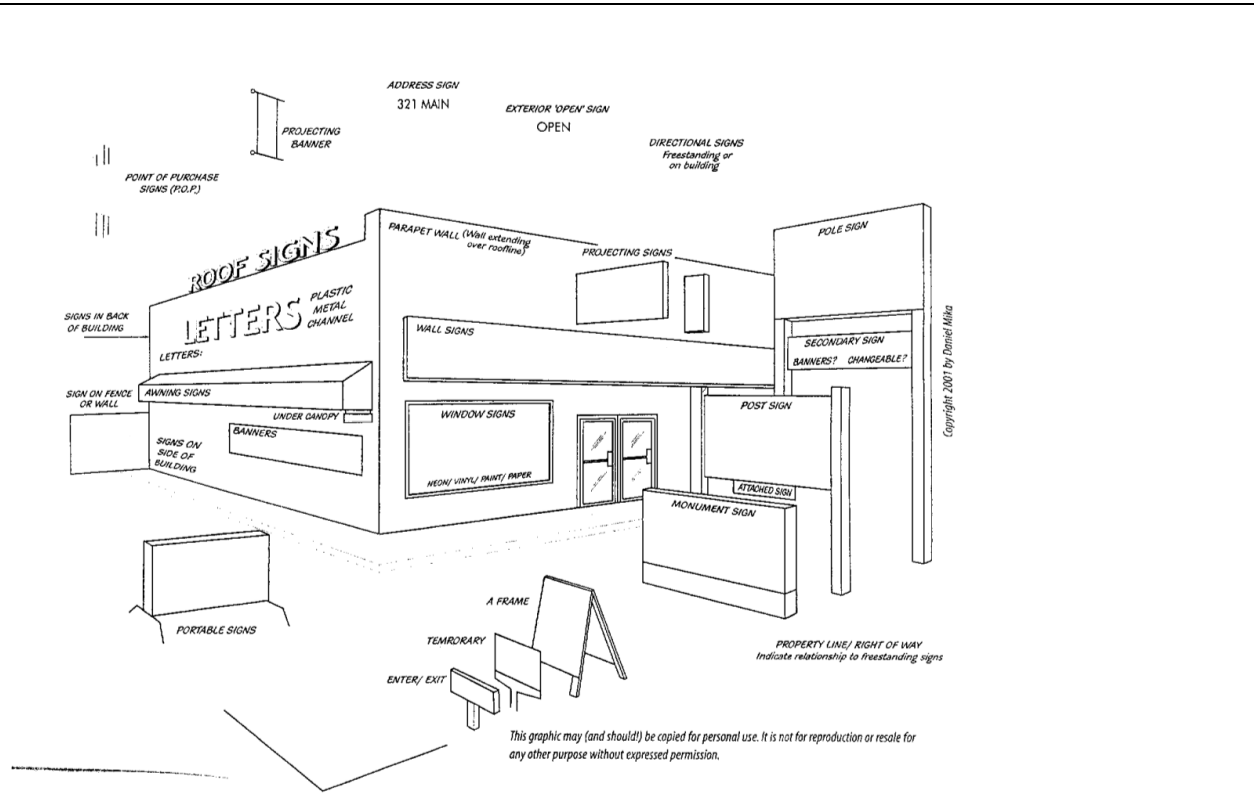
*Premises.* A "lot" in the same ownership or control which is not divided by a public street.

*Sign.* A name, message identification, image, description, display, light, balloon, banner or illustration which is affixed to, or painted, or otherwise located or set-upon, or in, a building, bench, structure or piece of land and which directs attention to an object, product, place, activity, person, institution, organization or business and which is visible from any public street, sidewalk, alley, park or public property. The definition includes interior and exterior signs but not signs primarily directed at persons within the premises of the sign owners. The definition does not include goods displayed in a business window.

- (a) *Accessory sign.* A sign which pertains to the principal or accessory use of the premises upon which such sign is located.

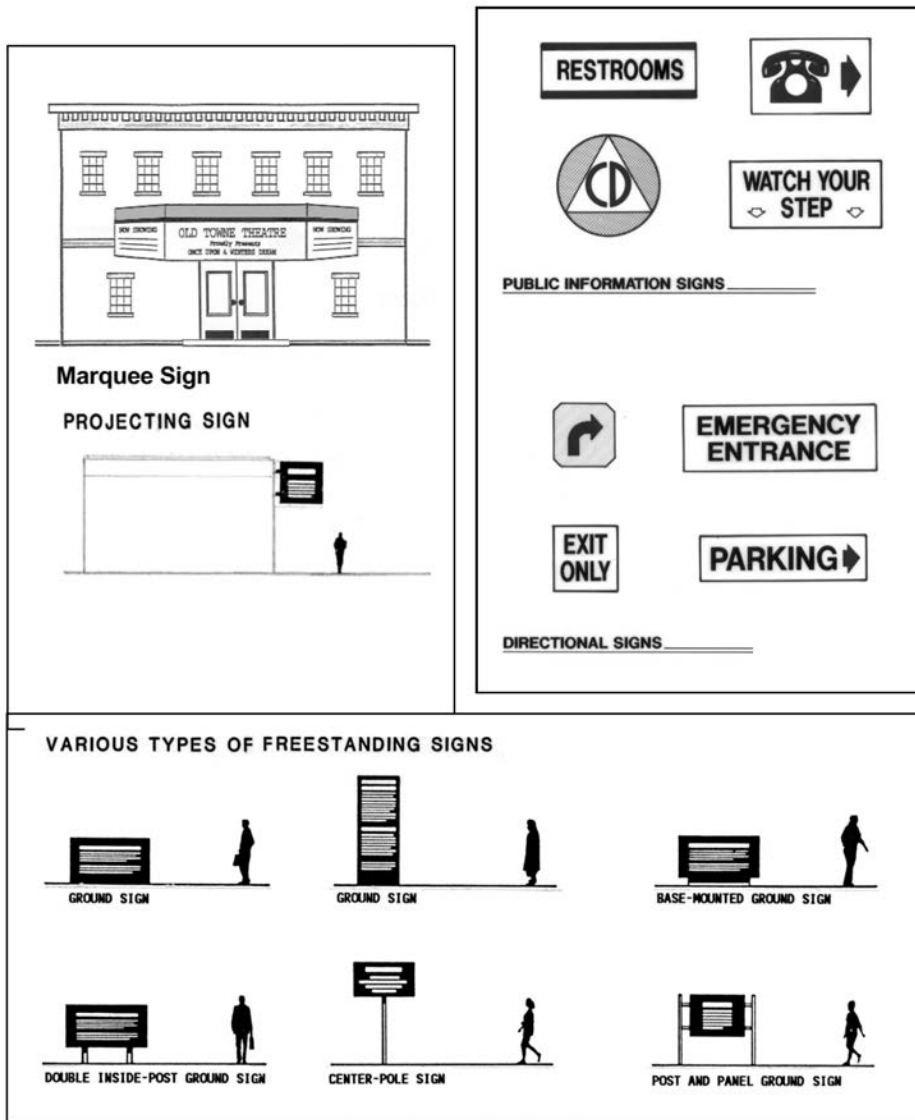
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- (b) *Awning sign.* An awning which is cloth, canvas, or vinyl which is installed above windows or a main entrance to a building with metal frames.
- (c) *Banner sign.* A **temporary** sign on paper, cloth, fabric or other flexible or combustible material of any kind, either with or without frames.
- (d) *Billboard sign.* An **off-premises non-accessory** freestanding sign, upon which a display can be posted, painted or otherwise affixed in a manner which is readily changed.
- (e) **Small** *Blade sign.* Durable, permanent sign (perpendicular to facade) **referring to a business** on a building's interior, extending up to thirty-six (36) inches from corresponding facade, with clearance to eight (8) feet above finish surface of sidewalk or other walking surface and up to five (5) square feet in area. Must be mounted with sign surface minimum four-inch clearance from facade.
- Bulletin board.* A **temporary** sign with **temporary or** replaceable letters or characters, **used to announce dates of functions or activities.**
- ~~(f) *Commercial sign.* A sign displayed for the purpose of identifying a commercial use, or advertising a service, product, business or venture that is offered for trade or sale.~~
- (f) *Directional sign.* A sign, the primary purpose of which is to expedite the flow of vehicular and/or pedestrian traffic to, from and within a site.
- ~~(h) *Garage and yard sale signs.* A sign that is used for temporary use to sell household items, garage, tools, and miscellaneous items used in a residential area.~~
- (g) *Ground sign.* Any freestanding sign supported by one (1) or more uprights, poles, pylons, a base, or braces located in or upon the ground or to something requiring location on the ground and not attached to any building or other structure.
- ~~(j) *Group identification sign.* A sign or entranceway structure, listing the names and addresses only of the establishments occupying a development or subdivision. The erection of such identification signs is so intended to assist the public in locating establishments within its immediate area and shall be placed upon property within the development or subdivision.~~
- ~~(k) *Institutional sign.* A sign containing a surface area upon which is displayed the name of a religious institution, school, library, community center, or similar institutions, and the announcement of its services or activities~~
- (h) *Marquee sign.* A sign attached to or hung from a marquee, wall, canopy or other covered structure projecting from and supported by the building.
- (i) *Moving sign.* A sign that has motion either constantly or at intervals or that gives the impression of movement through intermittent, flashing, scintillating or varying intensities of illumination.
- (j) *Mural.* A picture, photograph, painting, mosaic, or relief artwork applied to exterior walls, facilities, or structures, intended to serve as a cosmetic adornment for the building. **A mural may be a permanent or a temporary display.**
- ~~(e) *Non-accessory advertising sign.* A sign relating to a business activity, use or service not performed on the premises or to a product not fabricated, produced, handled or sold on the same premises upon which the sign is displayed.~~
- ~~(p) *Occupational sign.* A sign denoting only the name and profession of an occupant in a commercial building or public institutional building.~~
- (k) *Off-premises sign.* A sign which pertains to property that is not located on the same property where the sign is displayed.

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- (l) *On-premises sign*. A sign which pertains to the property on which the sign is located. ~~advertises only goods, services, facilities, events or attractions available on the premises where located, or identifies the owner or occupant or directs traffic on the premises. All other signs are off-premises signs.~~
- (m) *Outline tubing or rope lighting sign*. A sign arranged of exposed gaseous or lighted tubes, including LED and similar lighting systems that outline and call attention to certain features of an advertising device such as individual letters, figures, shapes or words.
- ~~(s) *Parasite signs*. A sign that is intended to draw attention to any one (1) or more of various services, items for sale, contests, etc., and is attached as an appendage to an accessory sign, sign support or any part of a principal building, accessory building or other structure located on a development site.~~
- (n) *Pole sign*. A type of ground sign that is mounted above the ground on a pole.
- ~~(u) *Political sign*. A sign relating to the election of a person to public office or relating to a political party or relating to an issue or a matter to be voted upon at an election called by a public body.~~
- (o) *Portable sign*. A temporary sign or sign board which is free standing and not permanently anchored or secured to either a building, structure or the ground; such as, but not limited to, so-called "A"-frame, "T"-shaped or inverted "T"-shaped stands, sandwich board, or any sign attached to a trailer or other vehicle not accessory to the vehicle or its use, ~~but used with the express intent of advertising.~~
- (p) *Projecting sign*. A sign erected and attached at one (1) end to a building, pole or other structure, or any part thereof, and extending beyond the attachment surface by more than twelve (12) inches.
- ~~(x) *Real estate sign*. A sign advertising that the property said sign is located upon is for sale, rent or lease.~~
- (q) *Road sign*. A type of ground sign that is typically mounted close to the ground on a three-dimensional base which is constructed of the same materials and colors as the sign face. A "monolith sign" is one (1) type of road sign which consists of a base-mounted cylindrical structure upon which a message is painted or posted.
- (r) *Roof sign*. A sign which is erected, constructed, and maintained above the roof or parapet of a building or any portion thereof.
- (s) *Small signs*. A sign which is used as a temporary use for special events.



~~Pole signs are not permitted.~~

~~Roof signs are not permitted.~~



(t) *Temporary sign.* An information sign, **portable sign**, or banner, with or without a structural frame, intended for a limited period of display, **including decorative displays for holidays or public demonstrations**, not including accessory signs as defined under (a) above, **or signs pertaining to sale, rent, or lease of property.**

~~(dd) *Time and temperature sign.* A sign that displays only the current time and/or temperature.~~

(u) *Wall sign.* A sign attached to, painted on, inscribed, or otherwise set upon the exterior wall or surface of any building, no portion of which projects more than twelve (12) inches from the wall, and which may not project above the roof or parapet line. The roofline meaning the vertical distance measured from the established grade to the highest point of the roof surface for flat roofs; to the deck line of mansard roofs; and the average height between eaves and ridge boards for gable, hip and gambrel roofs.

(v) *Window sign.* Signs which are affixed, painted, or otherwise inscribed on the window of a building such that they are visible from the outside of said building. For the purposes of this Ordinance, signs, which

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are not affixed directly to a window but are positioned next to a window so that they are visible from the outside, shall be considered window signs.

*Sign erector.* Any person engaged in the business of erecting, conditions altering, or removing signs on a contractual or hourly basis.

*Sign area.* The entire area within a circle, triangle, rectangle or other geometric shape enclosing the extreme limits of writing, representation, emblem or any figure of similar character, together with any frame or other material or color forming an integral part of the display or used to differentiate the sign from the background against which it is placed; excluding the necessary supports or uprights on which such sign is placed.

(Ord. No. 2023-02, § 1.02(Exh. A), 3-16-2023)

### **Sec. 14.02. Measurement of sign area.**

The total sign area is to be expressed in square feet and shall be computed as herein set forth and permitted in the "Schedule of Sign Regulations" attached to and made a part of this Code.

- (a) Single-face sign total area shall be computed as the number of square feet within lines drawn at the outer perimeter forming any single and/or combination of geometric shapes, such as a square, rectangle, triangle or circle encompassing the extreme limits of an individual letter(s), word(s), message(s), representation, emblem or any similar figure, including open space(s), together with any frame or other material forming an integral part of display used to differentiate such sign from the background against which it is placed.
- (b) Double-face signs having two (2) faces of equal size arranged and/or positioned back to back and parallel or with the faces at an included angle of not more than thirty (30) degrees in the plan or vertical view; the area of the sign shall be computed as one-half ( $\frac{1}{2}$ ) the total area of the two (2) faces. When the faces of such a sign are not of equal area, then the area of the sign shall be computed as the total area of the largest face.

### **Sec. 14.03. Permits and applications.**

- (a) *Permit required.* It shall be unlawful for any person to erect, re-erect, alter or relocate any sign unless a permit shall have been first obtained from the Building Official, except as provided in Section 14.04 below, and a permit fee paid in accordance with the schedule adopted by resolution of the City Council. Any sign that makes use of electricity shall, in addition to a sign permit, require an electrical permit, regardless of size.
- (b) *Undefined signs.* Any sign that is not explicitly defined in definitions of this Ordinance must be approved by the Zoning Board of Appeals before a permit shall be issued.
- (c) *Permits.* Permits for the erection of signs shall only be issued to persons qualified to carry on such work under the provisions of this article.
- (d) *Permit expiration.* A sign permit shall become null and void if the work for which the permit was issued is not completed within six (6) months of the date of issue.
- (e) *Applications.* Applications for sign permits shall be made upon forms provided by the Building Department for this purpose.
- (f) *Servicing.* No permit shall be required for ordinary servicing, repainting of existing sign message, or cleaning of a sign. No permit is required for change of message of a sign designed for periodic message change without change of structure, including a bulletin board or billboard, but not including a sign to which a new permanent face may be attached.

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## Sec. 14.04. Exempt signs.

No erection permit shall be required for signs enumerated below. Such exemptions, however, shall not be construed to relieve the owner of the sign from responsibility for its proper location, erection and maintenance.

- (a) *Construction signs.* Signs advertising buildings or projects under construction shall not exceed thirty-two (32) square feet where the total parcel frontage is twenty-one (21) feet or less, where parcel frontage exceeds twenty-one (21) feet, such signs shall not exceed one and one-half (1½) square feet per ten (10) lineal feet of thoroughfare frontage or fraction thereof, up to a maximum of one hundred (100) square feet. Such signs shall have a maximum height of ten (10) feet and shall be set back at least twenty-five (25) feet from any public right-of-way unless attached to a building, construction fence, or barricade. All such signs shall be removed promptly upon completion of construction. No more than one (1) construction sign shall be permitted per thoroughfare frontage.
- ~~(b) *Garage and yard sale signs.* Signs to be posted in ground only with a size no larger than eighteen (18) inches by twenty-four (24) inches. No permit required and following stipulations apply:~~
- ~~(1) For a one-day sale the sign may be erected the morning of the sale with removal at the end of the day.~~
- ~~(2) For a two- or three-day sale the sign may be erected the morning of the first day of the sale with removal at the end of the second or third day.~~
- ~~(3) Signs may not be posted for more than three (3) days.~~
- (c) *Government signs.* Signs erected on a City, county, state or federal building or land ~~which announce the name, occupancy and information of the use or admission to the premise~~ or the flag of any nation or state which is respectfully displayed.
- ~~(d) *Political signs.* Shall be solely for the purpose of providing information relating to the election of a person to public office, or to a political party, or to a matter to be voted upon at an election called by a public body, or any other public issue or expression of opinion, and shall be permitted subject to the following conditions:~~
- ~~(1) Political signs shall not be located closer than fifteen (15) feet to the edge of the traveled portion of the roadway and not in a dedicated right-of-way or attached to any utility pole. Political signs shall be ground or wall signs. No ground sign shall be higher than thirty-six (36) inches above average mean grade of the yard on which it is placed.~~
- ~~(2) All political signs shall be removed within ten (10) calendar days after the election or event.~~
- ~~(3) Such signs shall not be erected in such a manner that they will or reasonably may be expected to interfere with, obstruct, confuse or mislead traffic.~~
- ~~(e) *Real estate signs.*~~
- ~~(1) *Single and multiple family real estate.* A sign with an area not in excess of six (6) square feet advertising the sale, rent and/or lease of a single or multiple-family structure or vacant property, placed adjacent to such a structure and upon the premises is permitted. Such a sign may indicate only that the property is for sale, rent, and/or lease and the address or telephone number where the inquiry can be made. It shall have a maximum height of six (6) feet from grade and shall be set back ten (10) feet from any public right-of-way unless attached to the building. It shall be unlawful for any rental unit or dwelling, as defined in Article IX, Section 5-247, Rental registration, of the City of Keego Harbor Code of Ordinances, as amended, to advertise the rent and/or lease of a rental unit or dwelling without receiving a certificate of compliance in~~

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~~accordance with Article IX, Section 5-251, Certificate of compliance, of the City of Keego Harbor Code of Ordinances, as amended.~~

~~(2) Non-residential real estate signs. One (1) sign, with a total area not in excess of thirty-two (32) square feet, shall be permitted on each parcel for the purposes of advertising the sale, rent and/or lease of non-residential real estate. Such signs shall have a maximum height of ten (10) feet and shall be set back twenty-five (25) feet from any public right-of-way unless attached to a permanent building.~~

~~(3) Residential subdivision or condominium developments. The allowable area for one (1) accessory or sign pertaining to the sale, rent and/or lease of real estate within a residential subdivision or condominium complex being developed shall be limited to an area of one hundred (100) square feet. Not more than one (1) non-accessory sign advertising the sale of lots or residential buildings in other than the subdivision or condominium complex being developed shall be permitted. The size of this non-accessory sign shall be not more than one hundred (100) square feet in area. The Board may allow additional signs if they find that due to location of the development or some other hardship, the additional exposure can be justified. Such signs shall have a maximum height of ten (10) feet and shall be set back twenty-five (25) feet from any public right-of-way.~~

~~(4) Not more than one (1) Real estate sign per thoroughfare frontage shall be placed on any premises. Real estate signs larger than six (6) square feet shall not be placed on any premises with an occupied structure.~~

~~(5) Removal. Real estate signs shall be removed within ten (10) days of the sale, lease or rental of the premises, land parcel or residential subdivision/complex.~~

~~(6) Real estate signs which indicate property is sold are prohibited.~~

- (f) *Residential address signs.* For each dwelling unit in the R-1 and R-2 Districts, one (1) sign not exceeding two (2) square feet in area indicating the address and name(s) of the occupants.
- (g) *Street signs.* Signs erected by the City, county, state or federal government for street direction or traffic control.

~~(h) Temporary signs in NR, RT, R-M, and R-MH Districts. Temporary signs in NR, RR, R-M, and R-MH Districts are not required to obtain a permit.~~

#### **Sec. 14.05. Construction and maintenance requirements.**

- (a) *Materials and design.* All signs shall be designed, constructed and maintained in conformity with the provisions for materials, loads, and stresses of the latest adopted edition of the City Building Code and requirements of this article.
- (b) *Erector's imprint.* Signs of every type which come within the purview of this article, must carry the identification and address of the sign erector, electrical voltage, when applicable, and date of erection in clearly legible letters whether for the initial erection or re-hanging of a sign.
- (c) *Fastenings.* All signs must be erected in such a manner and with such materials to remain safe and secure during the period of use and all bolts, cables, and other parts of such signs shall be kept painted and free from corrosion. Any defect due to the fault of the erector shall be repaired by the erector.
- (d) *Support location.* No pole, cable or support of any nature shall be placed on any publicly owned property, street right-of-way, or proposed street right-of-way.
- (e) *Proximity to electrical conductors.* No sign shall be erected so that any part including cables, guys, etc., will be within ten (10) feet of any electrical conductor, electric light pole, street lamp, traffic light or other public utility pole or standard.

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- (f) *Re-hanging.* In case of re-hanging or re-erection of any sign, the new erector must place his identification, address and the date on the sign.
  - (g) *Sanitation.* Property surrounding any ground sign shall be kept clean, sanitary and free from obnoxious and offensive substances, free from weeds, rubbish, and inflammable material.
  - (h) *Illumination.* No sign shall be illuminated by other than continuing white light using approved electrical devices and shall be installed in accordance with the requirements of the provisions of this article. In no case shall any open spark or flame be used for display purposes unless specifically approved by the Building Official.
  - (i) *Shielding.* Any lighting for the illumination of signs shall be directed away from and shall be shielded from any adjacent lots and shall be so arranged as to not adversely affect driver visibility on adjacent public thoroughfares.
  - (j) *Traffic interference.* No advertising device shall be erected or maintained which simulates or imitates in size, color, lettering, or design any traffic sign or signal or other word, phrase, symbol, or character in such a manner as to interfere with, mislead, or confuse traffic.

### **Sec. 14.06. General provisions.**

The following conditions shall apply to all signs erected or located in any zoning district:

- (a) *Sign location.*
  - (1) No sign, except those established and maintained by the City, county, state, or federal governments, shall be located in, project into, or overhang a public right-of-way or dedicated public easement. Projecting signs in the C-1 or C-2 area may project over a public sidewalk provided there is a minimum clearance of eight (8) feet between the sidewalk and the bottom of the sign.
  - (2) No sign shall be erected, established, or maintained on any lot which will obstruct the view of drivers in vehicles approaching an intersection of two (2) roads or the intersection of a road and driveway. Accordingly, signs located in the triangular area described below shall not be permitted to obstruct cross-visibility between a height of thirty (30) inches and six (6) feet above the lowest point of the intersecting roads or driveways. The unobstructed triangular area is described as follows:

The area formed at the corner intersection of two (2) public right-of-way lines, the two (2) sides of the triangular area being twenty-five (25) feet in length measured along the abutting right-of-way lines, and the third side being a line connecting these two (2) sides, or;

The area formed at the corner intersection of a public right-of-way and a driveway, the two (2) sides of the triangular area being ten (10) feet in length measured along the right-of-way line and edge of the driveway, and the third side being a line connecting these two (2) sides.
  - (3) Construction signs ~~advertising buildings or projects under construction may~~ be erected and maintained for a period not to exceed the term of construction, and such sign shall be erected on the site of construction. ~~Said sign shall advertise only the building or project under construction and information related thereto such as its developers, contractors, engineers, brokers and architects.~~
  - (4) No sign shall be permitted at any location which, in the sole discretion of the Building Official, creates any type of safety hazard or visual impediment to pedestrian or vehicular traffic.

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- (b) *Sign height.* No ground sign serving a single tenant or multi-tenant building having a common entrance shall exceed a maximum height of six (6) feet, including a two-foot base as measured from the elevation at a point along the nearest right-of-way line the sign is directed to, determined by a line drawn from the closest point of the sign to the right-of-way at a ninety-degree angle. In no instance shall the sign be placed on an artificial mound or berm in such a manner to exceed the maximum height of six (6) feet.

No ground sign serving a multi-tenant building shall exceed a maximum height of eight (8) feet, including a two-foot base as measured from the elevation at a point along the nearest right-of-way line the sign is directed to, determined by a line drawn from the closest point of the sign to the right-of-way at a ninety-degree angle. In no instance shall the sign be placed on an artificial mound or berm in such a manner to exceed the maximum height of eight (8) feet.

- (c) *Liability insurance.* If the vertical distance of such sign above the street is greater than the horizontal distance from the sign to the street right-of-way line and so located as to be able to fall or be pushed onto public property, then the owner of such sign shall keep in force a public liability insurance policy in the amount of one hundred thousand dollars (\$100,000.00) for injury to one (1) person and three hundred thousand dollars (\$300,000.00) for injury to more than one (1) person and property damage insurance in the amount of twenty-five thousand dollars (\$25,000.00) for damage to property. In lieu of an insurance policy as required herein, an owner may present satisfactory proof to the City Attorney that said owner is financially capable of self-insurance in the above amounts.
- (d) *Prohibited signs.* The following signs are prohibited in all zoning districts, notwithstanding anything to the contrary in this article.
- (1) Signs which incorporate in any manner or are illuminated by any flashing or moving lights such as strobe lights or police and fire type flashers ~~other than for conveyance of noncommercial information which requires periodic change.~~ This section does not prohibit barber poles which otherwise meet the provisions of this article.
  - (2) Exterior banners, pennants, spinners and streamers, other than a banner or pennant used as a permitted sign under provisions of this article.
  - (3) Exterior string lights used in connection with a commercial premise, other than holiday decorations.
  - (4) Any sign which has any visible motion other than permitted flags of governmental units or banners ~~and other than for the conveyance of noncommercial information requiring periodic change.~~
  - (5) Any sign which is structurally or electrically unsafe.
  - (6) Any sign erected on a tree or utility pole ~~except signs of any political subdivision of this state.~~
  - ~~(7) Any business sign or sign structure now or hereafter existing which no longer advertises a bona fide business conducted or a product sold.~~
  - (8) Portable signs and any freestanding exterior sign not permanently anchored or secured to either a building or the ground, ~~except real estate "open house" signs.~~
  - ~~(9) Signs displayed on licensed vehicles or trailers when the subject vehicle or trailer is parked in such a manner that the obvious intent is to attract attention to a business, service, or commodity on the premises.~~
  - (10) Any sign on a motor vehicle or trailer which projects more than six (6) inches from the surface of such a vehicle when it is parked at a location visible from a public street, ~~except political signs.~~
  - (11) Any sign structure or frame no longer supporting or containing a sign.

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(12) Any roof sign which is located above the roof or parapet of a building or any portion thereof.

(13) Pole signs as defined in Section 14.01.

(14) Roof signs as defined in Section 14.01.

(15) Internally illuminated awnings shall not be translucent.

(16) The following signs are prohibited within the Village Overlay District (VOD):

a. Internally illuminated box signs and awnings.

b. Monument signs.

(e) *Fire escapes.* No signs of any kind shall be attached to or placed upon a building in such a manner as to obstruct any fire escape.

(f) *Changeable message signs.* The message change cycle of a changeable message sign shall be not less than five (5) minutes per message. Both electronic and non-electronic changeable message signs are permitted, except in a combined time and temperature sign where the change cycle shall not be less than thirty (30) seconds.

(g) *Revolving signs.* Revolving signs are not permitted.

(Ord. No. 2023-02, § 1.02(Exh. A), 3-16-2023)

### Sec. 14.07. District regulations.

(a) *Signs permitted in NR, R-2-R-T, R-M, and R-MH Districts.* Signs pertaining to other than single-family residential uses may be permitted, subject to approval by the Building Official, not to exceed twenty (20) square feet in area for one (1) accessory sign or thirty-six (36) square feet in area for one (1) bulletin board sign.

(1) *Temporary signs in NR, R-T, R-M, and R-MH Districts.* Temporary signs in the NR, R-T, R-M, and R-MH Districts shall not exceed six (6) square feet.

(b) *Signs permitted in R-M District.*

(1) One (1) accessory sign identifying each subdivision, apartment or condominium complex, or mobile home park per vehicle entrance not to exceed nine (9) square feet in area for each sign and shall not be illuminated.

(2) Accessory signs identifying community facilities or special uses within said City of developments shall not exceed twenty (20) square feet for each building or use and no such sign shall be located closer than thirty (30) feet to any property line of adjacent single-family district.

(c) *Signs permitted in C-1, C-2, P-1, O-1 and Village Overlay Districts.*

(1) *Signs for single-tenant buildings or multi-tenant buildings having a common entrance.* The following sign standards shall apply to (a) buildings which contain only one (1) tenant, and (b) buildings which contain more than one (1) tenant but where all tenants share a common building entrance or entrances (for example, an office building or other type of building where access to individual tenant space is off of a common hallway or atrium):

a. Any such building shall be permitted a total of up to three (3) signs, consisting of wall or ground signs, provided that no more than one (1) ground sign shall be permitted. To improve sign visibility, wall signs may be located on the side or near the front of the building, subject to review and approval by the Planning Commission.

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Where total parcel frontage is sixty-four (64) feet or less, the total area of all such signs shall not exceed forty-eight (48) square feet. Where the total parcel frontage exceeds sixty-four (64) feet, the total sign area shall not exceed two (2) feet per lineal foot of parcel frontage, up to a maximum of one hundred (100) square feet.

- b. For the purposes of enforcing these provisions, frontage shall be along the front lot line as designated on the plat, site plan review application, or request for a building permit. Although not required, use of road signs and wall signs is encouraged (rather than pole signs), in accordance with the goals and recommendations set forth in the City's master plan.
  - c. Up to eight (8) inch height address numbers permitted.
  - d. Permit required.
- (2) *Signs for shopping centers and similar multi-tenant buildings.* The following standards shall apply to shopping centers and similar multi-tenant buildings, where each tenant has building frontage and their own entrance to the outside:

- a. Any such use shall be permitted a total of up to three (3) signs, consisting of wall or ground signs, ~~for group identification or to advertise the name of the shopping center or premises~~, provided that no more than one (1) ground sign shall be permitted. To improve sign visibility, wall signs may be located on the side or near the front of the building, subject to review and approval by the Planning Commission.

Where total parcel frontage is sixty-four (64) feet or less, the total area of all such signs shall not exceed forty-eight (48) square feet. Where the total parcel frontage exceeds sixty-four (64) feet, the total sign area shall not exceed two (2) feet per lineal foot of parcel frontage, up to a maximum of one hundred (100) square feet.

- b. For the purposes of enforcing these provisions, frontage shall be along the front lot line as designated on the plat, site plan review application, or request for a building permit. Although not required, use of road signs and wall signs is encouraged (rather than pole signs), in accordance with the goals and recommendations set forth in the City's master plan.
  - c. In addition, in multi-tenant structures such as shopping centers, one (1) wall sign shall be permitted per building frontage. If an individual tenant has multiple building frontages it shall be permitted not more than one (1) additional wall sign located on a second building frontage, subject to review and approval by the Planning Commission. The maximum area for each wall sign shall not exceed two (2) square feet per lineal foot of building frontage for the building frontage on which such sign is located.
  - d. Ground signs permitted. Double inside post ground sign, base mounted ground sign, and post and panel ground sign.
  - e. Landscaping is encouraged around base or bottom of sign. Post and panel shall have decorative posts.
  - f. Ground sign to be permitted to use electronic messages and to be a minimum of five (5) minutes before changing. No rotating or flashing of messages or symbols.
  - g. Permit required.
- (3) *Ground sign standards.*
- a. Ground signs shall not be located closer than one hundred (100) feet to any residential district.

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- b. There shall be no more than one (1) ground sign for any single premises, including shopping centers, regardless of the number of separate tenants or uses located within said shopping center.
  - c. Landscaping is encouraged around the base or bottom of any ground sign. Post and panel shall have decorative posts. Landscaping shall consist of a combination of evergreen and deciduous shrubs. Creativity in landscaping is encouraged.
  - d. Ground signs may not exceed forty-eight (48) square feet in area and no more than twenty-four (24) square feet per sign face.
- (4) *Gasoline price signs.* Gasoline service stations shall be permitted one (1) gasoline price sign, except that two (2) price signs, one (1) facing each street, shall be permitted for stations located at the intersection of two (2) major thoroughfares. Such signs shall not exceed thirty (30) square feet in area.
- (5) *Theaters.* Theaters shall be permitted two hundred (200) square feet of sign area in addition to the district provisions of this article for changeable-message type marquee signs.
- (6) *Window signs.* Temporary and permanent window signs shall be permitted on the inside in commercial and office districts provided that the total combined area of such signs does not exceed one-third ( $\frac{1}{3}$ ) of the total window area. The area of permanent window signs shall be counted in determining compliance with standards for total area of wall signs on the parcels. Temporary window signs that are faded, yellowed, ripped or otherwise damaged shall be removed immediately.

Window signs on glass in the Village Overlay District (VOD) is limited to the ground floor ~~and must be hand painted onto glass~~, maximum twenty-five (25) percent of glass area and twelve (12) square feet per storefront (space between each set of exterior columns and/or pilasters). Flyers taped to storefronts or storefront glass are prohibited. Maximum three (3) decals per business on exterior glass, maximum six-inch square each.

- (7) *Awning signs.* Awning signs may be externally illuminated, with gooseneck lighting direct downward to illuminate only the intended message. No more than fifty (50) percent, or twenty-four (24) square feet, whichever is less, of the awning may contain logos, symbols, or lettering intended to advertise the business. Twenty-five (25) percent of awning signage shall count toward wall signage. Logos are prohibited on awnings. Lettering on awnings is limited to flap, maximum seven (7) inches in height, and limited to center eighty-five (85) percent of flap width. Permit required.
- (8) *Outline tubing ~~and rope lighting (including neon, LED, and similar lighting systems)~~.*
- a. Outline tubing ~~and rope lighting~~ signs may be permitted by the Planning Commission subject to the following:
    - 1. May be used to provide back lighting where the ~~lighting system neon tubing~~ is fully obscured by opaque lettering or characters;
    - 2. Outline tubing ~~or rope lighting~~ may be permitted where the proposed sign is in character with the type of use;
    - ~~3. Outline tubing may be permitted where the proposed sign has significant historical references;~~
    - 4. May not be used to outline the perimeter of a window.
    - 5. ~~Neon signs Outline tubing and rope lighting signs~~ are permitted behind glass on first and second floor, limited to ten (10) percent of glass on the first floor and thirty-five (35) percent of glass on the second floor.
- (9) *Marquee signs.*

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- a. May be permitted to be used additionally to allowed signage.
  - b. Sign may be a maximum of two (2) feet by five (5) feet or one hundred five (105) square feet and can be electric.
  - c. Message to be a minimum of five (5) minutes before changing.
  - d. Sign can be attached to building flat on a wall and not to extend above first floor roofline and not allowed above first floor of multi-story building.
  - e. Permit required.

(10) *Projecting signs.*

- a. Projecting signs may be permitted on buildings containing one (1) business.
- b. The maximum size is eight (8) square feet.
- c. Buildings containing more than one (1) tenant, maximum size is sixteen (16) square feet.
- d. Support for sign must be architectural material (iron, industrial cable, or warehouse hooks).
- e. Double-sided small blade signs are allowable in the Village Overlay District.
- f. Permit required.

(11) *Murals.*

- a. Any proposed mural shall meet the intent of this section, as follows:
  - 1. Creation of a City landmark.
  - 2. Demonstration of community identity and pride.
  - 3. Enlivening the downtown area.
- b. No more than twenty-five (25) percent of the area of a mural, or twenty-four (24) square feet, whichever is less, may include text, numbers, trademarks, or logos or other forms of business advertisement. This area shall be counted toward the amount of wall sign permitted.
- c. Upon application for a mural, the following information will be required:
  - 1. Objectives of the mural.
  - 2. The specific location of the mural.
  - 3. Concept sketch, in color and a written description of the artwork.
  - 4. A schedule for the project.
  - 5. Dimensioned elevation plans identifying the existing structure and proposed mural.
- d. The complete mural application shall be reviewed by the Planning Commission.
- e. The following standards shall be used when formulating the design of the proposed mural:
  - 1. Integration of the windows and doors into the composition.
  - 2. Determination of a suitable building or building side for mural application.
  - 3. Consideration of mural materials and durability (painting directly on natural brick and bare concrete could require the repainting of the mural regularly).
  - 4. Completion of the mural in a reasonable amount of time.
- f. The following maintenance regulations and standards apply to all murals:

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1. Where approval is given, it will be with the condition that two (2) years after installation, a review by the Building Official or City Planning Consultant, of the condition ~~and continued relevance~~ of the mural may require its removal.
  2. The City shall not perform any maintenance on the mural. When a mural has either faded or been damaged and the sponsor is unable to continue to maintain it, the City may require removal at the cost of the applicant. No City agency can commit to contacting the artist or sponsor in the event that a mural needs to be removed.
  3. A maintenance plan and budget for the mural is required. The plan will allocate responsibility for monitoring the condition of the mural on a regular basis, for decision making related to repair and removal.

~~g. Temporary murals. Murals that are intended to be displayed for a period of no more than one (1) year shall be required to meet the requirements of Section 15.07 (c) (11).~~

h. Permit required.

- (12) *Wall signs.* The maximum allowable wall sign size on facades shall equal one (1) square foot per one (1) linear feet of frontage, exclusive of columns and/or pilasters. Such wall sign is limited to thirty-six (36) inches in height, must be contained within fifteen (15) feet of the sidewalk (or exterior walking surface), ~~and must be located above the storefront, and must be externally lit (exclusively) 2700—3000k color temperature.~~
- (13) *Small signs.* Small signs shall not be more than four (4) square feet in area and the total Area of all signs on one (1) premises shall not exceed two (2) signs. Permit is for thirty (30) days at a time and only twice per year. If more time is requested, must apply to Planning Commission. Signs must be maintained in good condition.
- (14) *Temporary signs.* ~~Shall not exceed thirty-two (32) square feet in area,~~ Shall be displayed for no more than thirty (30) days ~~during each three (3) month quarter, and no more than 180 days total per year. If requested for more than once per year, it must be approved by Planning Commission.~~ Exempt temporary signs are; banners, or flags when in the nature of special decorative displays used for public demonstrations or promotions of civic welfare or charitable purposes ~~on which there is no commercial advertising,~~ provided the City is held harmless and blameless for any damage or injury resulting there from. ~~No more than three (3) temporary signs shall be allowed on a site in the C-1, C-2, P-1, and M-1 and Village Overlay Districts, unless the site is a shopping center or similar multi-tenant building. For shopping centers and similar multi-tenant buildings, one (1) temporary sign shall be allowed for each building suite.~~
  - a. ~~Temporary signs in the C-1, C-2, P-1, M-1 and Village Overlay Districts shall not exceed twenty-four (24) square feet.~~
  - b. *Temporary banner signs.*
    - a. ~~Temporary banner signs that are attached to the principal building are permitted for a period of one (1) year.~~
    - b. ~~Temporary banner signs that are detached from the principal building are permitted for a maximum of thirty (30) days once per year.~~
    - c. ~~Single tenant buildings on a corner lot are permitted to have one (1) temporary banner sign per street frontage.~~
  - c. *Temporary flag signs.*
    - a. ~~Temporary flag signs shall be permitted for a maximum of 30 consecutive days once per year.~~

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d. **Permit required.**

- (15) *Sandwich board or A-frame signs.* Portable sandwich board or A-frame signs may be placed at the public entrances to businesses, on either private property or the public sidewalk, in accordance with the following standards:
- a. No sign shall be placed within a distance of ten (10) feet from any fire hydrant, or in any location where it would imperil public safety, as determined by the Zoning Administrator, or their designee, or interfere with the function of the fire department.
  - b. The sign shall not be located any further than the sidewalk immediately adjacent to the subject property and its location shall not interfere with pedestrian or vehicular circulation as determined by the Zoning Administrator or their designee.
  - c. There shall be only one (1) portable sandwich board or A-frame sign per business. For buildings with front and rear customer entrances, one (1) additional portable sandwich board or A-frame sign may be permitted at the second entrance.
  - d. Each sign shall be placed outside only during the hours when the business is open to the general public and shall be stored indoors at all other times.
  - e. Each sign shall be placed next to the building wall or outside of the road right-of-way in a manner which is safe for and does not interfere with normal pedestrian or auto traffic. A clear path of five (5) feet must be maintained at all times.
  - f. Portable sandwich board or A-frame signs shall not have more than two (2) sign faces.
  - g. The following design requirements shall apply to all sandwich board or A-frame signs:
    1. Portable sandwich board or A-frame sign lettering, ~~excluding that which is part of the business logo~~, shall be between two (2) to four (4) inches high. Chalkboard signs may be permitted.
    2. Sandwich board or A-frame sign designs shall be uncluttered, with a minimum of text. ~~Logos and graphics are encouraged.~~
    3. The business name lettering and/or logo shall be neatly painted, raised, or routed onto the sign.
    4. The sign shall be kept in good repair at all times.
    5. ~~Portable sandwich board or A-frame signs are encouraged to relate to the nature or theme of the business advertised.~~
  - h. All sandwich board or A-frame signs must be reviewed and approved by the Zoning Administrator or their designee, prior to a sign permit being granted.
  - i. No portable sandwich board or A-frame sign shall exceed an overall height of forty-five (45) inches and an overall width of twenty-four (24) inches. The maximum height of the sign area shall be thirty-six (36) inches. Sign supports may be a maximum of nine (9) inches in height. The maximum sign area per sandwich board or A-frame sign is six (6) square feet.
  - j. Any person, firm, or corporation who violates any provisions of this section shall be subject to the penalties outlined in Article XXI of this Ordinance.
  - k. An annual permit is required. The permit shall be renewed each calendar year.
  - l. *Permit required.*

- (e) *Signs permitted in M-1 District.*

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- (1) For premises containing only one occupant, one (1) wall or accessory ground sign, or combination thereof, the total of which shall not exceed an area of seventy-five (75) square feet.
  - (2) Where any premises has more than one (1) occupant, as in the case of multitenant complexes, there shall be permitted one (1) accessory ground sign not to exceed seventy-five (75) square feet ~~for group identification and/or to advertise the premises if the name of the complex is distinct from that of any occupant~~. In addition, multi-occupant complexes may identify individual tenants or uses with not more than one (1) wall sign not to exceed ten (10) square feet located on the face of the area occupied by the tenant or use.
  - (3) Ground signs shall not be located closer than one hundred (100) feet to any adjacent residential district and shall be limited to one (1) ground sign for any single premises regardless of the number of separate tenants or uses within the complex.
  - (4) ~~Off-premises non-accessory~~ signs and billboards. Off-premises ~~non-accessory~~ signs are permitted only in accordance with the following regulations and any other applicable provisions of this article:
    - a. No such sign shall have a total area of all faces in excess of two hundred (200) square feet or one hundred (100) square feet per sign face.
    - b. It shall have a maximum height not greater than twenty (20) feet from average grade as calculated within a sixty-foot radius from the base of the sign.
    - c. It shall not be closer than one thousand (1000) feet to any other ~~off-premises non-accessory~~ sign on the same side of the right-of-way.
    - d. The setback of the ~~off-premises non-accessory~~ sign shall be equal to the zoning yard requirements for the M-1 District.
    - e. An ~~off-premises non-accessory~~ sign shall be situated on the property so as to:
      1. Maximize motor vehicle sight distance, clear view, and traffic safety in general, in relation to other vehicles, pedestrians, and to other signage which is, or is anticipated to be, nearby; and
      2. Minimize the destruction of trees, the visibility of the billboard and illuminations thereof by and from residences, and any dangerous distraction and thus, hazard, of and to motorists, as determined in the discretion of the Planning Commission.
    - f. An ~~off-premises non-accessory~~ sign shall not be materially incompatible with surrounding improvements, as determined in the reasonable discretion of the Planning Commission.
    - g. An ~~off-premises non-accessory~~ sign may be illuminated but shall not have moving parts and/or intermittently flashing illumination. An illuminated ~~off-premises non-accessory~~ sign shall be situated at least five hundred (500) feet from any residential zoning district or residential use, and the illumination shall be directed away from all residential uses.
    - h. Permit required.

(f) *Signs permitted in R-MH District.* Refer to district provisions for sign requirements.

(Ord. 434, 5/17/2012; Ord. 462, 11/2/2017; Ord. No. 2023-02, § 1.02(Exh. A), 3-16-2023)

### **Sec. 14.08. Schedule of sign regulations.**

Except as otherwise provided herein, signs shall be permitted in zoning districts according to this Schedule of Sign Regulations.

**SCHEDULE OF SIGN REGULATIONS**

Sign Type	Permit Required	NR	R-M, R-ME, R-MH	CBD, CBD Fringe	C-1, C-2, P-1, O-1	M-1
Billboard <del>(Non-Accessory)</del>	X					X
Bulletin Board	X	X	X	X	X	
Directional		X	X	X	X	X
Ground	X	X	X		X	X
<del>Group Identification</del>	<del>X</del>		<del>X</del>		<del>X</del>	<del>X</del>
<del>Institutional</del>		<del>X</del>	<del>X</del>	<del>X</del>	<del>X</del>	
Marquee	X			X	X	X
<del>Occupational</del>					<del>X</del>	
<del>Political</del>	<del>X</del>	<del>X</del>	<del>X</del>	<del>X</del>	<del>X</del>	
Projecting				X		
<del>Real-Estate</del>	<del>X</del>	<del>X</del>	<del>X</del>	<del>X</del>	<del>X</del>	
Temporary	X	X	X	X	X	
<del>Time/Temperature</del>	<del>X</del>				<del>X</del>	
Wall	X	X	X	X	X	X
Window				X	X	X

**Sec. 14.09. Nonconforming signs.**

- (a) *Lawful existing signs.* Any sign lawfully existing at the time of this article which does not fully comply with all provisions shall be considered a nonconforming sign and may be permitted to remain as long as the sign is properly maintained and not detrimental to the health, safety and welfare of the community except as hereafter provided.
- (b) *Continuance.* A nonconforming sign shall not:
  - (1) Be expanded or changed to another nonconforming sign;
  - (2) Be relocated or structurally altered so as to prolong the life of the sign or so as to change the shape, size, type, placement, or design of the sign;
  - (3) Be re-established or maintained after the activity, business or usage to which it relates has been discontinued for ninety (90) days or longer;
  - (4) Be repaired or re-erected after being damaged if the repair or re-erection of the sign would cost more than fifty (50) percent of the cost of an identical new sign.
- (c) *Intent.* It is the intent of this section to encourage eventual elimination of signs that, as a result of the adoption of this article, become nonconforming, and to administer this article to realize the removal of illegal nonconforming signs and to avoid any unreasonable invasion of established private property rights, therefore;
  - (1) No person shall be required to remove a sign which was erected in compliance with previous regulations of this article if said sign becomes nonconforming due to a change occurring after adoption of this article, or in the location of buildings, streets or other signs, which change, is beyond the control of the owner of the sign and the premises on which it is located.

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- (2) If the owner of a sign or the premises on which a sign is located changes the location of a building, property line, or sign, or changes the use of a building so that any sign on the premises is rendered nonconforming, such sign must be removed or made to conform to this article.

**Sec. 14.10. Appeals.**

Any person aggrieved by any decision, ruling, or order from the Building Official, may make an appeal to the Zoning Board of Appeals. The ZBA may grant a variance as provided for in this Ordinance.

**Sec. 14.11. Enforcement.**

This Ordinance section shall be administered and enforced by the Building Official.